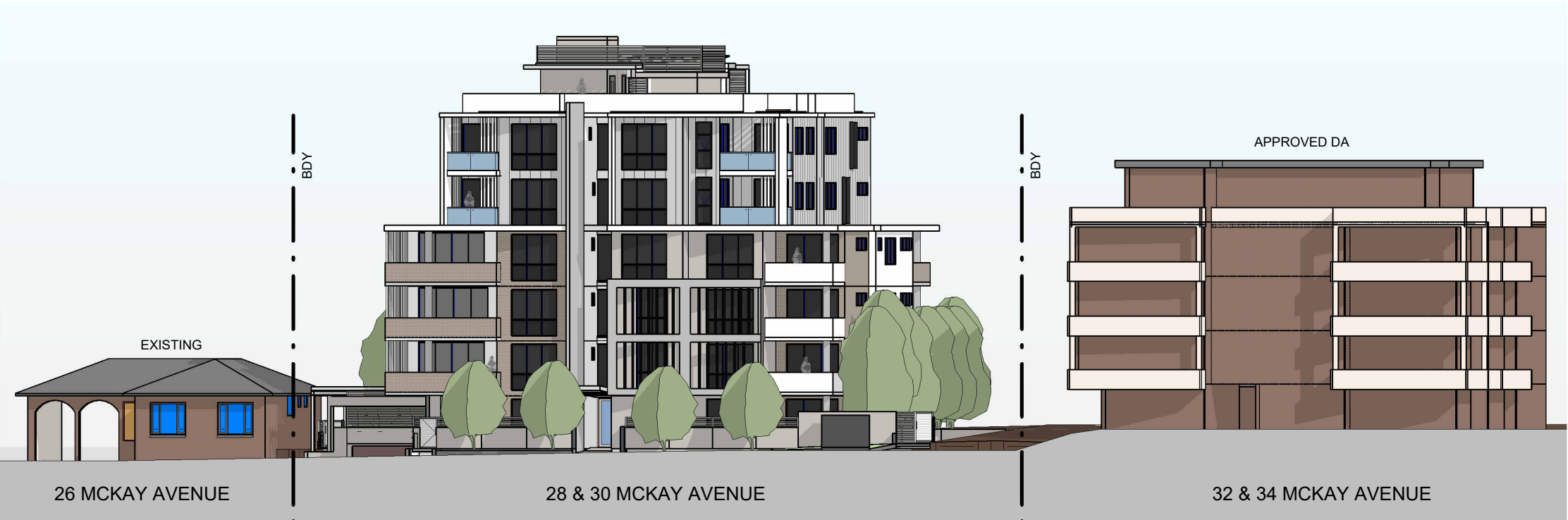


RESIDENTIAL FLAT BUILDING AT
28 & 30 MCKAY AVENUE MOOREBANK NSW 2170

DRAWING LIST

DRAWING NUMBER	DRAWING NAME	CURRENT REVISION
DA-000	COVER PAGE	C
DA-001	LOCATION MAP	C
DA-100	MASSING STUDY	C
DA-200	SITE-ROOF PLAN	C
DA-201	BASEMENT LEVEL 01 PLAN	C
DA-202	BASEMENT LEVEL 02 PLAN	B
DA-203	GROUND FLOOR PLAN	C
DA-204	LEVEL 01 FLOOR PLAN	C
DA-205	LEVEL 02 FLOOR PLAN	C
DA-206	LEVEL 03 FLOOR PLAN	C
DA-207	LEVEL 04 FLOOR PLAN	C
DA-208	LEVEL 05 FLOOR PLAN	C
DA-209	LEVEL 06 FLOOR PLAN	C
DA-210	ROOF PLAN	C
DA-211	DETAILED PLAN - GF LVL	C
DA-212	DETAILED PLAN - LVL 01	C
DA-213	DETAILED PLAN - LVL 02	C
DA-214	DETAILED PLAN - LVL 03	C
DA-215	DETAILED PLAN - LVL 04	C
DA-216	DETAILED PLAN - LVL 05	C
DA-217	DETAILED PLAN - LEVEL 06	C
DA-218	DETAILED PLAN - ROOF	C
DA-221	ADAPTABLE UNIT TYPE A PRE ADAPTION	C
DA-222	ADAPTABLE UNIT TYPE A POST ADAPTION	C
DA-223	ADAPTABLE UNIT TYPE B PRE ADAPTION	C
DA-224	ADAPTABLE UNIT TYPE B POST ADAPTION	C
DA-230	TYPICAL FACADE DETAIL 1 (ROOF)	C
DA-231	TYPICAL FACADE DETAIL 2 (BALCONY)	C
DA-300	FRONT ELEVATION-S & EXTERNAL FINISHES SCHEDULE	C
DA-301	REAR ELEVATION -N	C
DA-302	SIDE ELEVATION -E	C
DA-303	SIDE ELEVATION -W	C
DA-350	SECTIONS	C
DA-352	RAMP SECTIONS	C
DA-400	BUILDING HEIGHT PLANE 3D	C
DA-401	VENTILATION STUDY	C
DA-402	SOLAR STUDY	C
DA-403	STORAGE CALCULATIONS	C
DA-404	GROSS FLOOR AREA CALCULATIONS	C
DA-405	LANDSCAPE CALCULATIONS	C
DA-406	DEVELOPMENT CALCULATIONS	C
DA-407	WINDOW SCHEDULE	C
DA-500	SHADOW DIAGRAMS STUDY	C
DA-501	SOLAR ACCESS AT 1 PM - 3 PM	C



1 STREETScape VIEW - MCKAY AVENUE
DA-000 1 : 300

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
2. ANY DESCREANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.
MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-000

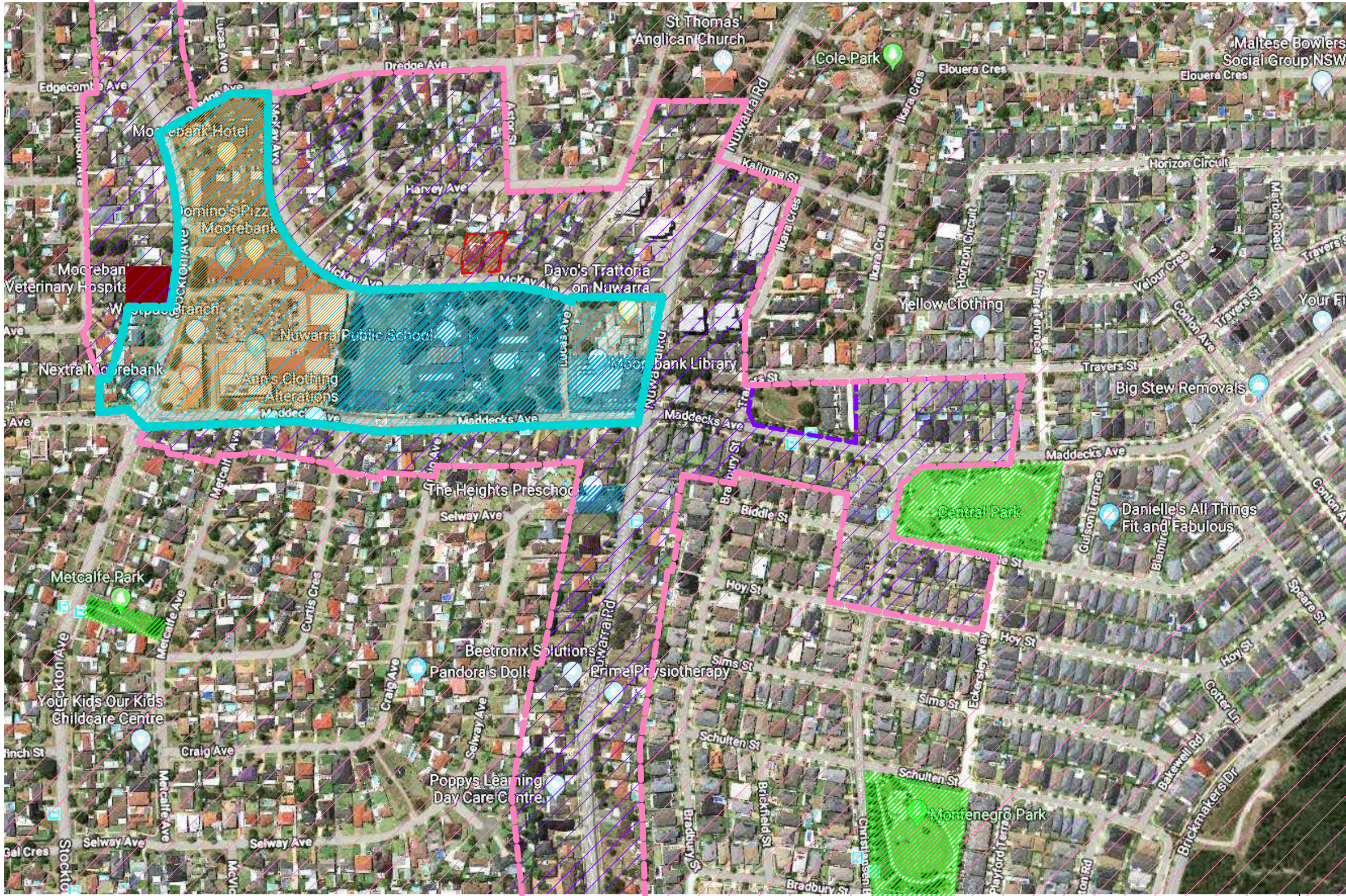
DRAWING TITLE:
COVER PAGE

SCALE

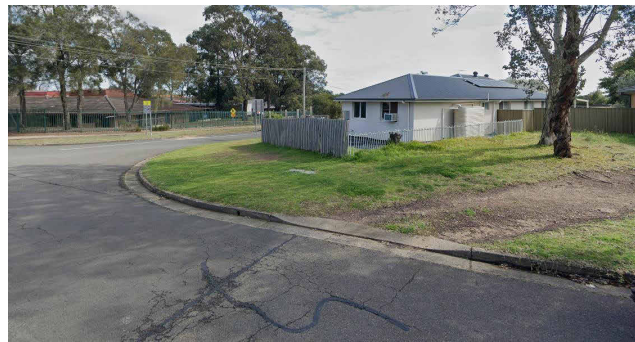
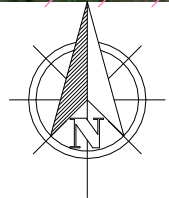
1 : 300 @ A3

PROJECT

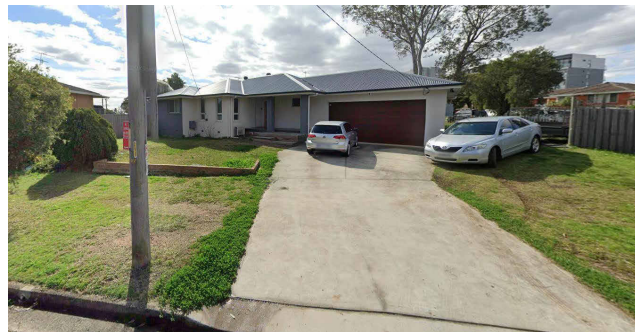
RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



- SITE EDUCATION FACILITIES PUBLIC RECREATION HEALTH FACILITY RETAIL
- R4- HIGH DENSITY RESIDENTIAL B2- LOCAL CENTRE R3- MEDIUM DENSITY RESIDENTIAL



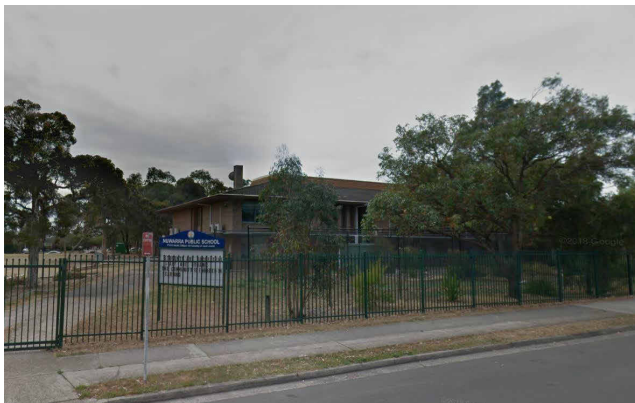
LUCAS AVENUE-STREET VIEW



MCKAY AVENUE-STREET VIEW



MOOREBANK COMMUNITY CENTRE AND LIBRARY



NUWARRA PUBLIC SCHOOL

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-001

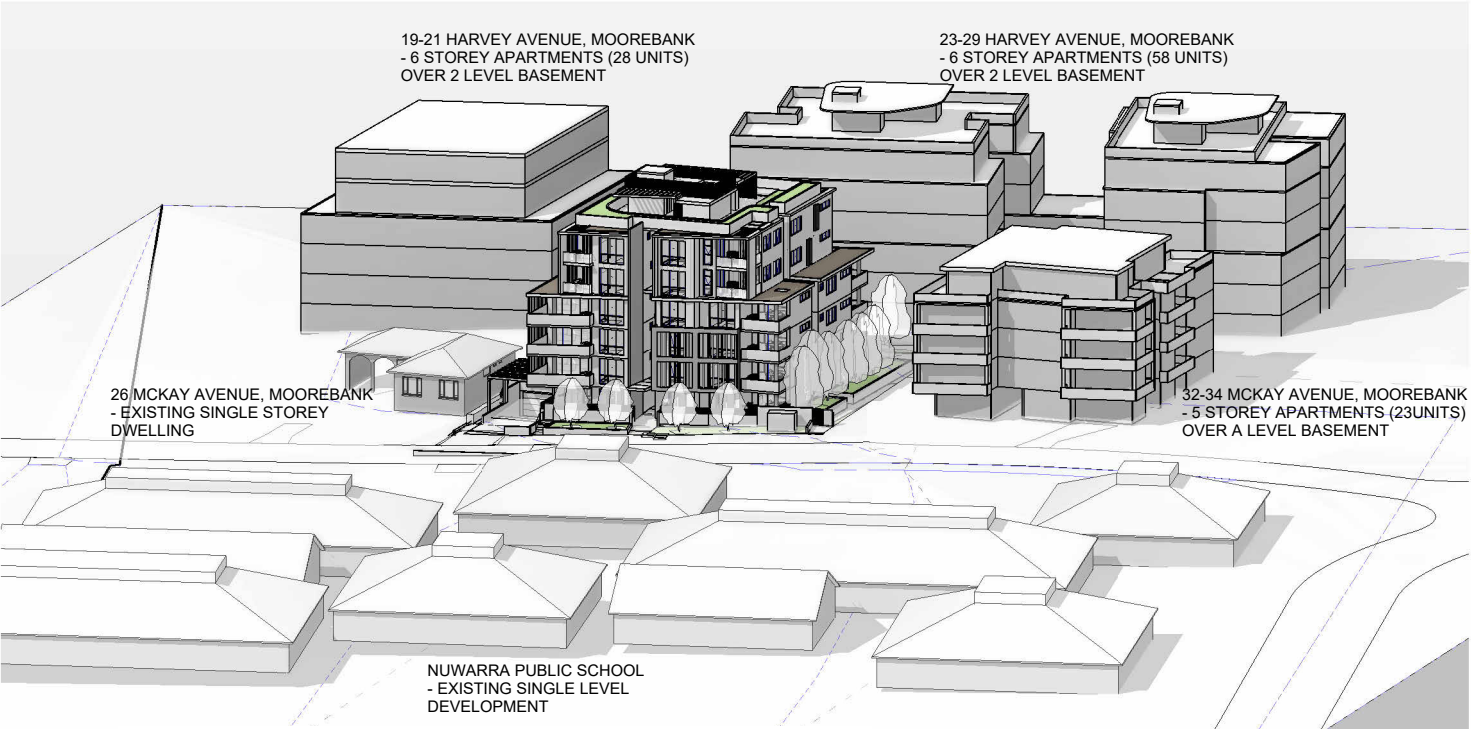
DRAWING TITLE:
LOCATION MAP

SCALE

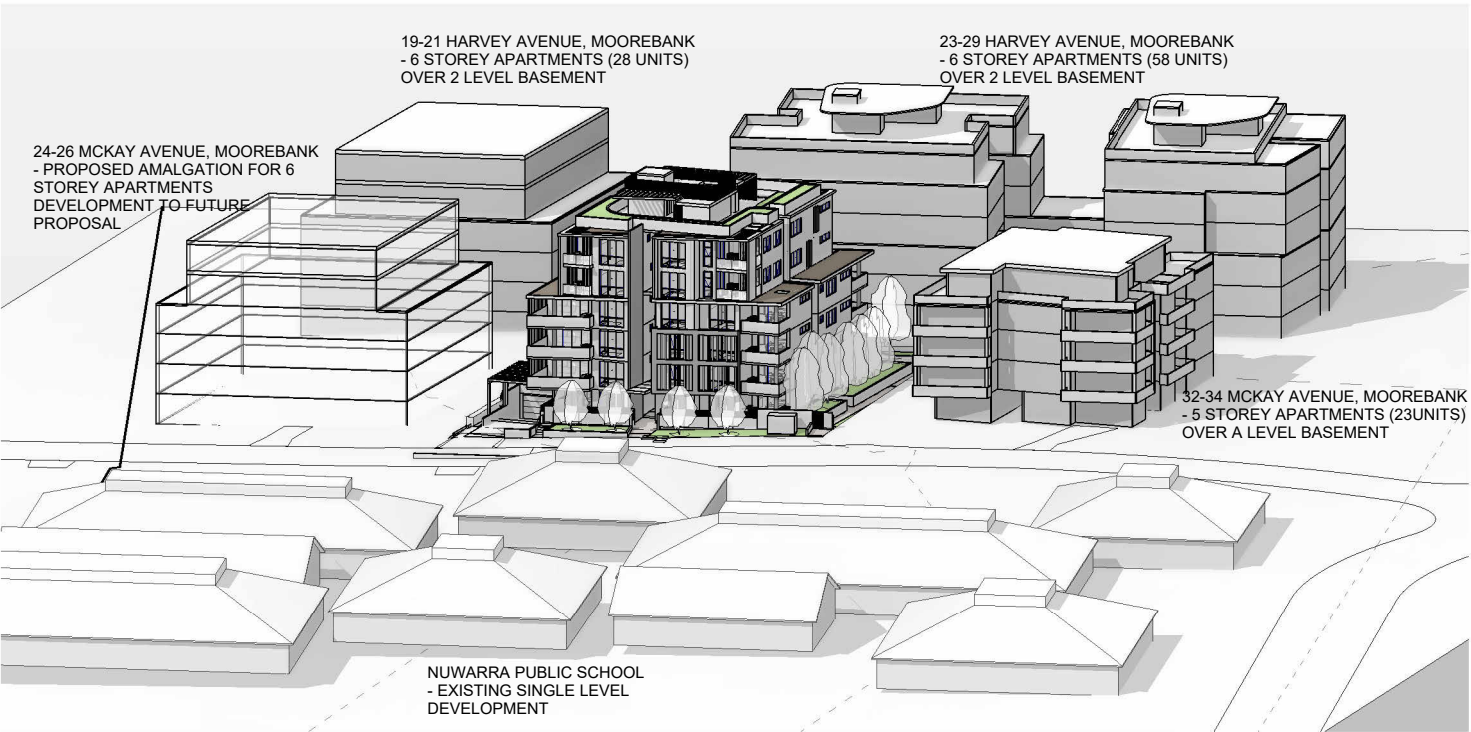
1 : 300 @ A3

PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



1 Massing Study - Approved development
DA-100



2 Massing Study - Future development
DA-100

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C DA ISSUE 31/07/24
B DEP COUNCIL RFI'S RESPONSE 18/03/24

ISSUE AMENDMENTS DATE

ISSUE

C

CLIENT

**MCKAY
MOOREBANK**

DRAWING NUMBER:

DA-100

DRAWING TITLE:

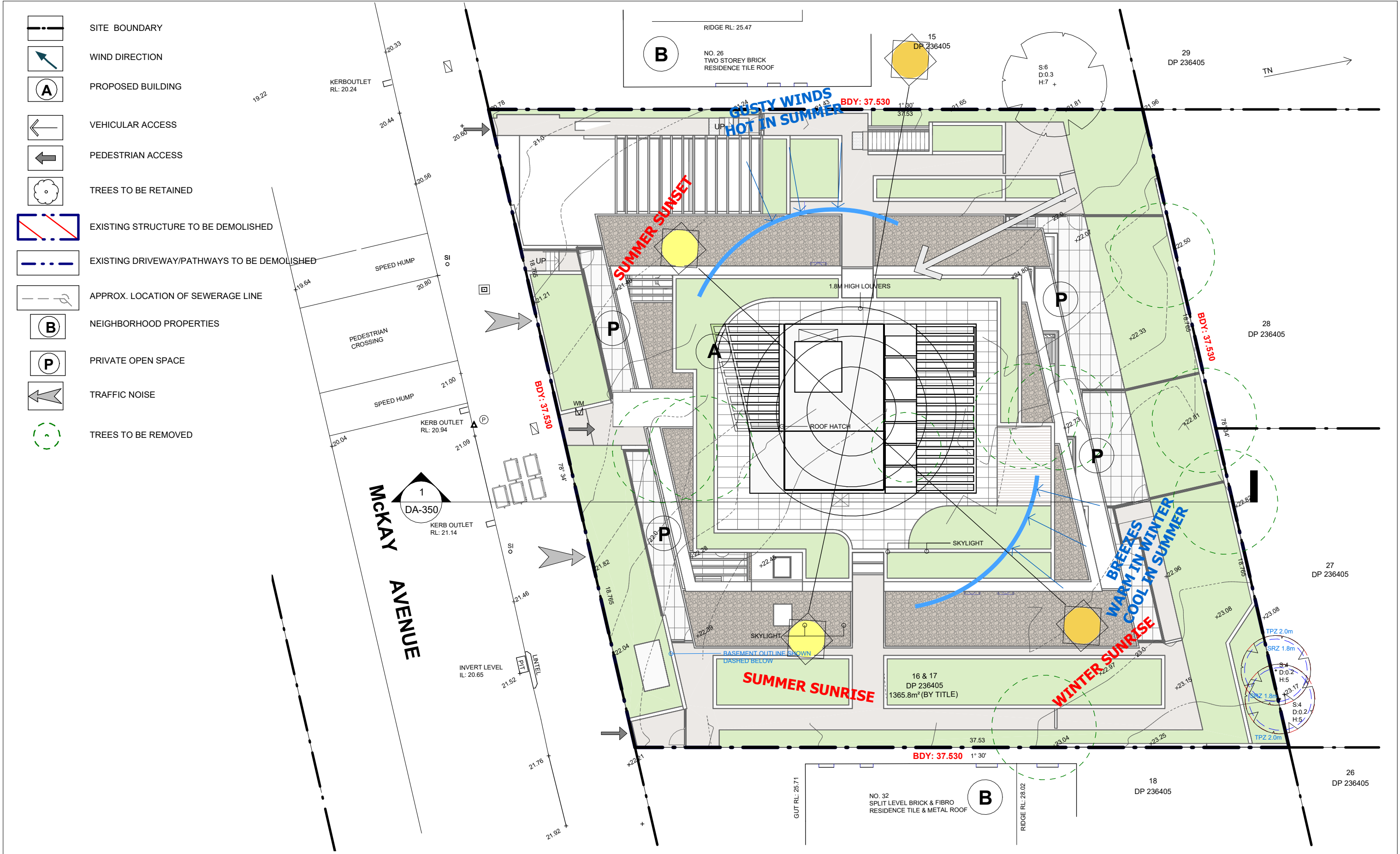
MASSING STUDY

SCALE

@ A3

PROJECT

**RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK**



<div>MORFOSIS ARCHITECTS PTY LTD</div> <div>Suite 8 695 The Horsley Drive, Smithfield NSW 2164 ABN 44 609 593 473 P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623 NOM ARCH J LIGADU NSW ARB NO 8549</div>			<div>GENERAL NOTES</div> <div>1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.</div> <div>2. ANY DESCREANCIESW ARE TO BE CONFIRMED BY THE DESIGNER.</div> <div>3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.</div> <div>4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.</div> <div>5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.</div> <div>6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.</div> <div>7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3</div> <div>8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.</div> <div>MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.</div>			<table><tr><td>C</td><td>DA ISSUE</td><td>31/07/24</td></tr><tr><td>B</td><td>DEP COUNCIL RFI'S RESPONSE</td><td>18/03/24</td></tr><tr><td>A</td><td>DA ISSUE</td><td>14/12/23</td></tr><tr><td>ISSUE</td><td>AMENDMENTS</td><td>DATE</td></tr></table>			C	DA ISSUE	31/07/24	B	DEP COUNCIL RFI'S RESPONSE	18/03/24	A	DA ISSUE	14/12/23	ISSUE	AMENDMENTS	DATE	<div>ISSUE</div> <div>C</div>	<div>CLIENT</div> <div>MCKAY MOOREBANK</div>	<div>DRAWING NUMBER:</div> <div>DA-200</div> <div>DRAWING TITLE:</div> <div>SITE-ROOF PLAN</div> <div>SCALE</div> <div>As indicated @ A3</div>		<div>PROJECT</div> <div>RESIDENTIAL FLAT BUILDING DEVELOPMENT AT 28 & 30 MCKAY AVENUE MOOREBANK</div>	
C	DA ISSUE	31/07/24																								
B	DEP COUNCIL RFI'S RESPONSE	18/03/24																								
A	DA ISSUE	14/12/23																								
ISSUE	AMENDMENTS	DATE																								

LEGEND

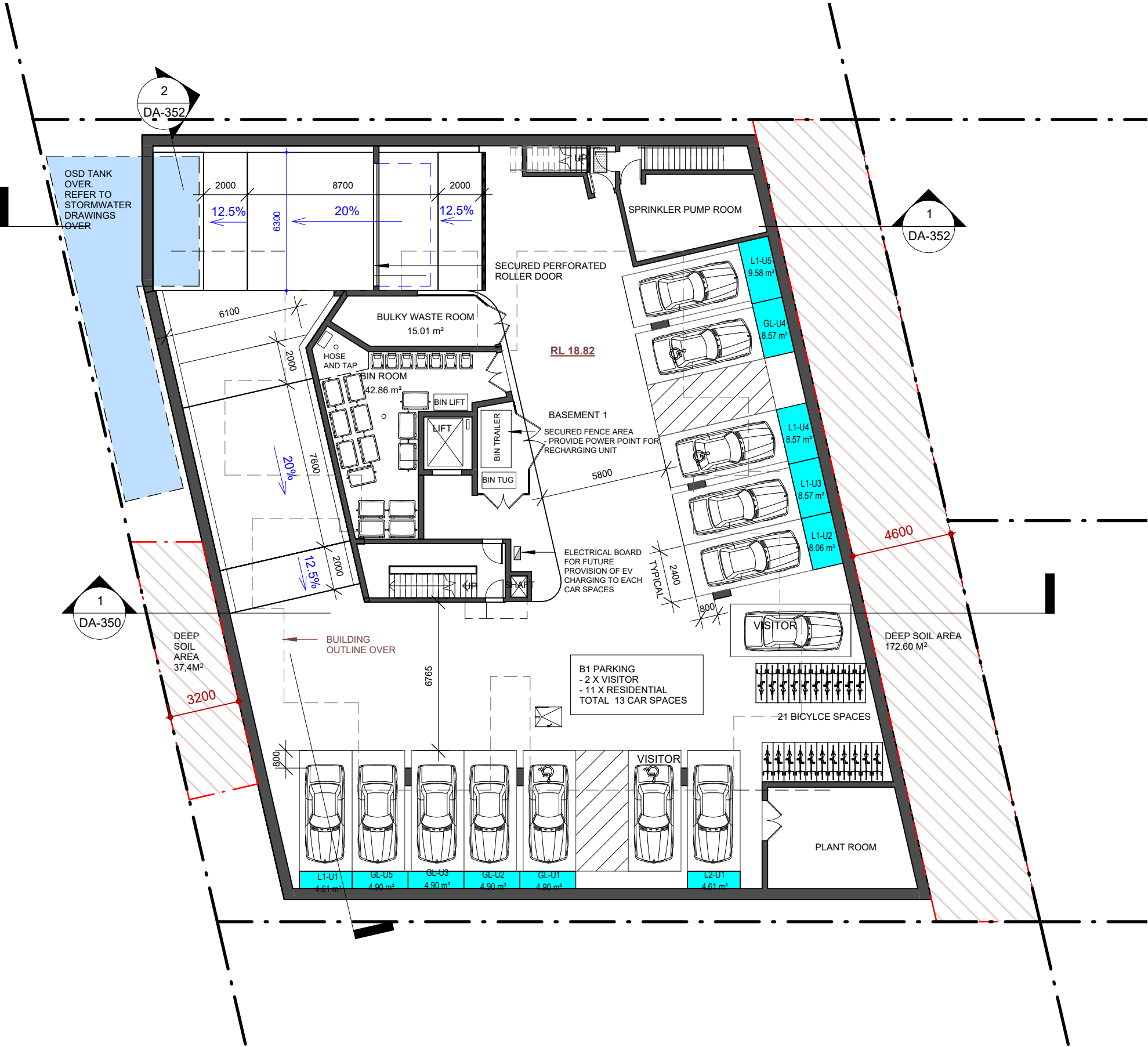
- NTR

NON-TRAFFICABLE ROOF
- P.O.S

PRIVATE OPEN SPACE
- AC

A/C CONDENSER UNIT WITH
SLAT SCREEN ENSLOSURE
1.1M H. REFER DETAIL
- STRUCTURAL ROOT ZONE
- TREE PROTECTION ZONE
- TREE TO BE REMOVED
- 1 BEDROOM UNIT
- 1 BEDROOM ADAPTABLE UNIT
- 2 BEDROOM UNIT
- 2 BEDROOM ADAPTABLE UNIT
- 3 BEDROOM UNIT
- SHAFT
- BC/ B

BIN CHUTE/ BINS ROOM
- LANDSCAPE



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

- ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 - ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 - LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 - FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 - ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 - WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 - STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 - ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-201

DRAWING TITLE:

BASEMENT LEVEL 01 PLAN

SCALE

As indicated @ A3



PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK

LEGEND

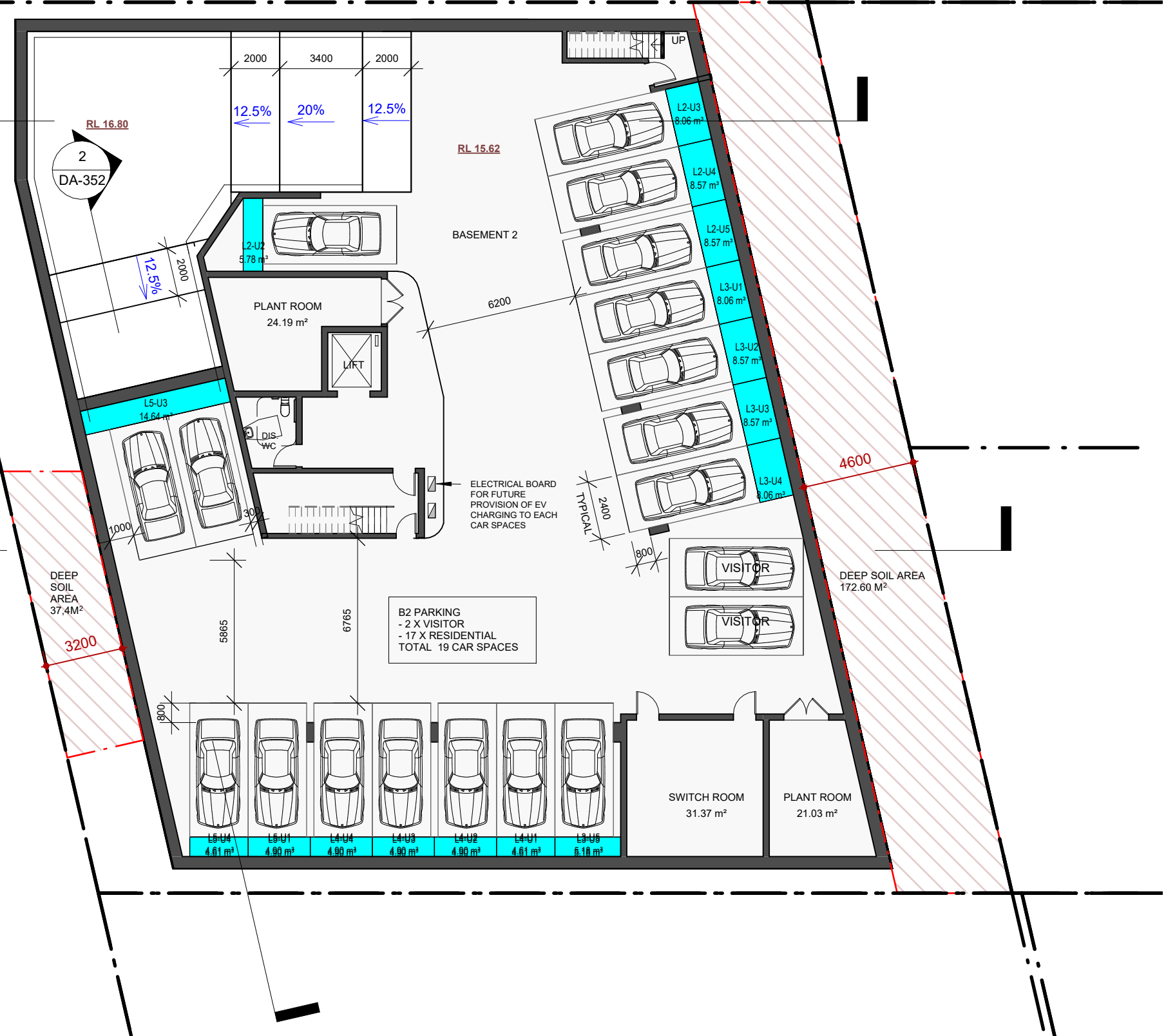
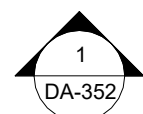
- NTR

NON-TRAFFICABLE ROOF
- P.O.S

PRIVATE OPEN SPACE
- AC

A/C CONDENSER UNIT WITH
SLAT SCREEN ENCLOSURE
1.1M H. REFER DETAIL
- STRUCTURAL ROOT ZONE
- TREE PROTECTION ZONE
- TREE TO BE REMOVED
- 1 BEDROOM UNIT
- 1 BEDROOM ADAPTABLE UNIT
- 2 BEDROOM UNIT
- 2 BEDROOM ADAPTABLE UNIT
- 3 BEDROOM UNIT
- SHAFT
- BC/ B

BIN CHUTE/ BINS ROOM
- LANDSCAPE



MORFOSIS ARCHITECTS PTY LTD
Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

- GENERAL NOTES**
1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DESCREPANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23
ISSUE	AMENDMENTS	DATE

ISSUE

CLIENT

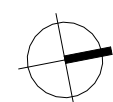
**MCKAY
MOOREBANK**

B

DRAWING NUMBER:
DA-202

DRAWING TITLE:
BASEMENT LEVEL 02 PLAN

SCALE
As indicated @ A3



PROJECT

**RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK**

LEGEND

- NTR

P.O.S

AC
- NON-TRAFFICABLE ROOF

PRIVATE OPEN SPACE

A/C CONDENSER UNIT WITH SLAT SCREEN ENCLOSURE 1.1M H. REFER DETAIL
- STRUCTURAL ROOT ZONE

TREE PROTECTION ZONE

TREE TO BE REMOVED
- 1 BEDROOM UNIT

1 BEDROOM ADAPTABLE UNIT

2 BEDROOM UNIT

2 BEDROOM ADAPTABLE UNIT

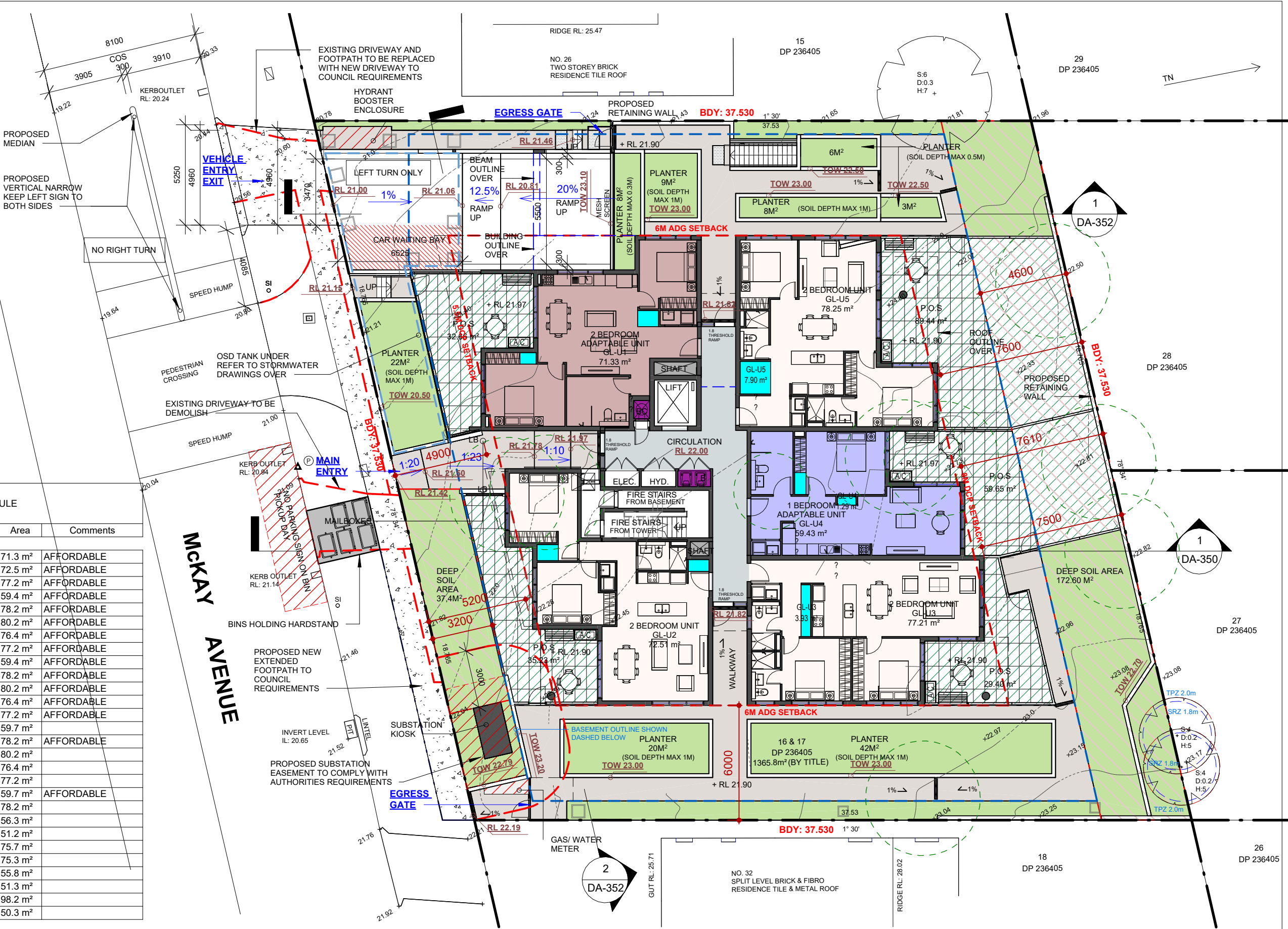
3 BEDROOM UNIT

SHAFT

BC/ B

LANDSCAPE
- BIN CHUTE/ BINS ROOM

LANDSCAPE



UNITS SCHEDULE

Unit	Name	Area	Comments
GL-U1	2 BEDROOM ADAPTABLE UNIT	71.3 m ²	AFFORDABLE
GL-U2	2 BEDROOM UNIT	72.5 m ²	AFFORDABLE
GL-U3	2 BEDROOM UNIT	77.2 m ²	AFFORDABLE
GL-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m ²	AFFORDABLE
GL-U5	2 BEDROOM UNIT	78.2 m ²	AFFORDABLE
L1-U1	2 BEDROOM UNIT	80.2 m ²	AFFORDABLE
L1-U2	2 BEDROOM UNIT	76.4 m ²	AFFORDABLE
L1-U3	2 BEDROOM UNIT	77.2 m ²	AFFORDABLE
L1-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m ²	AFFORDABLE
L1-U5	2 BEDROOM UNIT	78.2 m ²	AFFORDABLE
L2-U1	2 BEDROOM UNIT	80.2 m ²	AFFORDABLE
L2-U2	2 BEDROOM UNIT	76.4 m ²	AFFORDABLE
L2-U3	2 BEDROOM UNIT	77.2 m ²	AFFORDABLE
L2-U4	1 BEDROOM UNIT	59.7 m ²	
L2-U5	2 BEDROOM UNIT	78.2 m ²	AFFORDABLE
L3-U1	2 BEDROOM UNIT	80.2 m ²	
L3-U2	2 BEDROOM UNIT	76.4 m ²	
L3-U3	2 BEDROOM UNIT	77.2 m ²	
L3-U4	1 BEDROOM UNIT	59.7 m ²	AFFORDABLE
L3-U5	2 BEDROOM UNIT	78.2 m ²	
L4-U1	1 BEDROOM UNIT	56.3 m ²	
L4-U2	1 BEDROOM UNIT	51.2 m ²	
L4-U3	2 BEDROOM UNIT	75.7 m ²	
L4-U4	2 BEDROOM UNIT	75.3 m ²	
L5-U1	1 BEDROOM UNIT	55.8 m ²	
L5-U2	1 BEDROOM UNIT	51.3 m ²	
L5-U3	3 BEDROOM UNIT	98.2 m ²	
L5-U4	1 BEDROOM UNIT	50.3 m ²	

GENERAL NOTES

- ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
- LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
- STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
- ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-203

DRAWING TITLE:
GROUND FLOOR PLAN

SCALE

As indicated @ A3



PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK

LEGEND

- NTR

NON-TRAFFICABLE ROOF
- P.O.S

PRIVATE OPEN SPACE
- AC

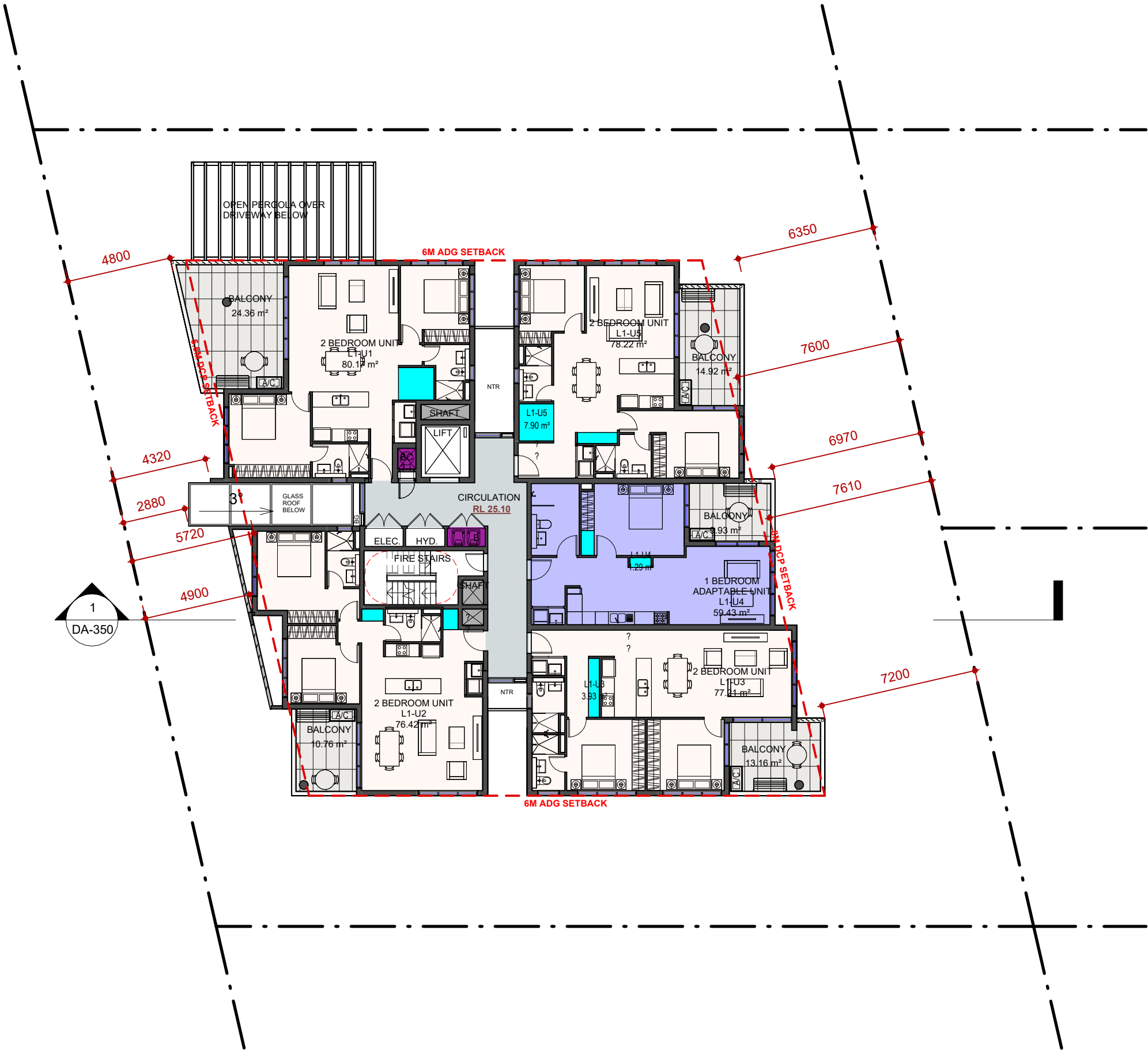
A/C CONDENSER UNIT WITH
SLAT SCREEN ENSLOSURE
1.1M H. REFER DETAIL
- STRUCTURAL ROOT ZONE
- TREE PROTECTION ZONE
- TREE TO BE REMOVED

- 1 BEDROOM UNIT
- 1 BEDROOM ADAPTABLE UNIT
- 2 BEDROOM UNIT
- 2 BEDROOM ADAPTABLE UNIT
- 3 BEDROOM UNIT
- SHAFT
- BC/ B

BIN CHUTE/ BINS ROOM
- LANDSCAPE

UNITS SCHEDULE			
Unit	Name	Area	Comments
GL-U1	2 BEDROOM ADAPTABLE UNIT	71.3 m²	AFFORDABLE
GL-U2	2 BEDROOM UNIT	72.5 m²	AFFORDABLE
GL-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
GL-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m²	AFFORDABLE
GL-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L1-U1	2 BEDROOM UNIT	80.2 m²	AFFORDABLE
L1-U2	2 BEDROOM UNIT	76.4 m²	AFFORDABLE
L1-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
L1-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m²	AFFORDABLE
L1-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L2-U1	2 BEDROOM UNIT	80.2 m²	AFFORDABLE
L2-U2	2 BEDROOM UNIT	76.4 m²	AFFORDABLE
L2-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
L2-U4	1 BEDROOM UNIT	59.7 m²	
L2-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L3-U1	2 BEDROOM UNIT	80.2 m²	
L3-U2	2 BEDROOM UNIT	76.4 m²	
L3-U3	2 BEDROOM UNIT	77.2 m²	
L3-U4	1 BEDROOM UNIT	59.7 m²	AFFORDABLE
L3-U5	2 BEDROOM UNIT	78.2 m²	
L4-U1	1 BEDROOM UNIT	56.3 m²	
L4-U2	1 BEDROOM UNIT	51.2 m²	
L4-U3	2 BEDROOM UNIT	75.7 m²	
L4-U4	2 BEDROOM UNIT	75.3 m²	
L5-U1	1 BEDROOM UNIT	55.8 m²	
L5-U2	1 BEDROOM UNIT	51.3 m²	
L5-U3	3 BEDROOM UNIT	98.2 m²	
L5-U4	1 BEDROOM UNIT	50.3 m²	

28



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

- ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 - ANY DESCREANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
 - LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 - FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 - ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 - WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 - STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 - ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCENET OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-204

DRAWING TITLE:

LEVEL 01 FLOOR PLAN

SCALE

As indicated @ A3



PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK

LEGEND

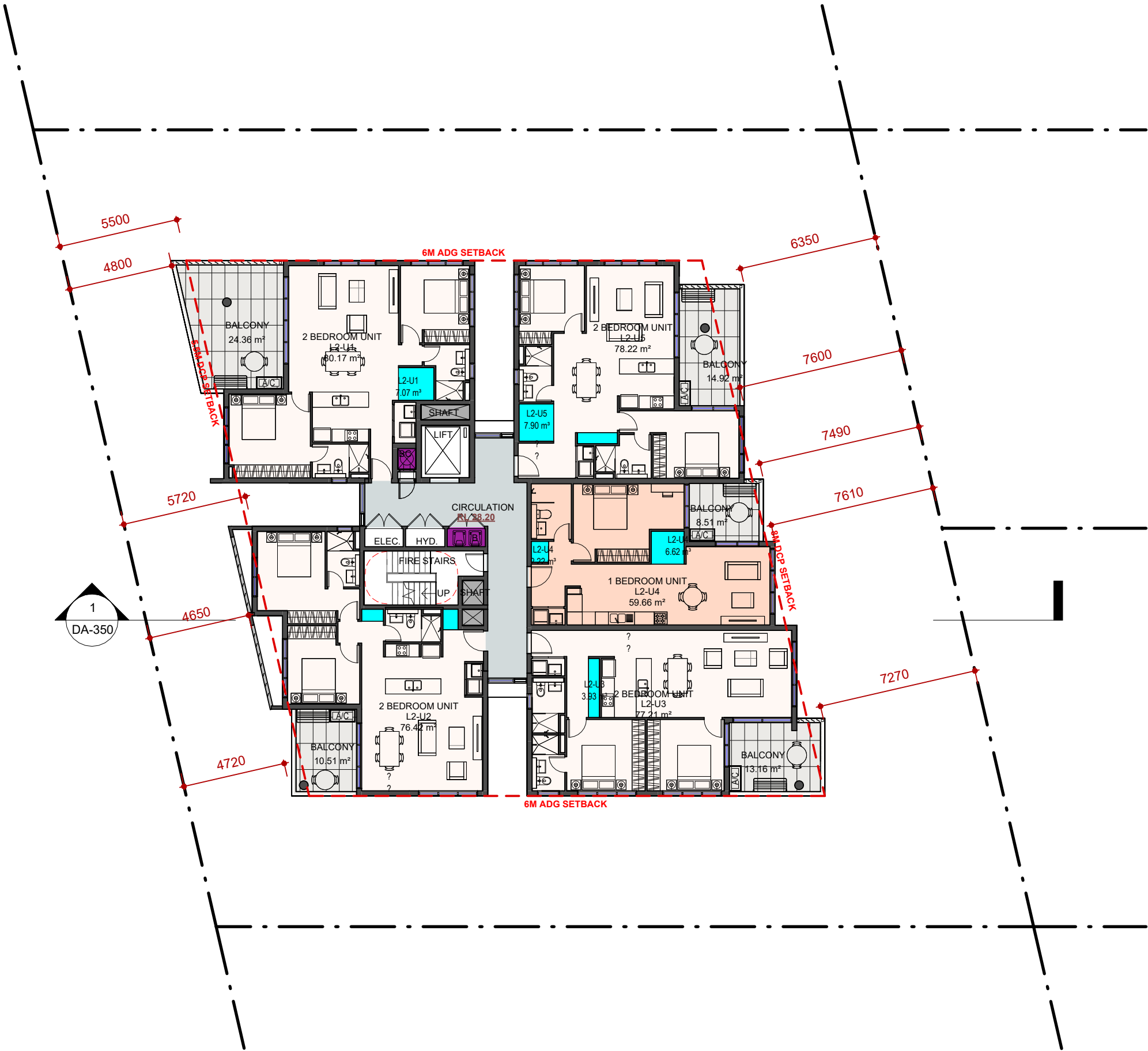
NTR NON-TRAFFICABLE ROOF
P.O.S PRIVATE OPEN SPACE
AC A/C CONDENSER UNIT WITH SLAT SCREEN ENSLOSURE 1.1M H. REFER DETAIL

STRUCTURAL ROOT ZONE
TREE PROTECTION ZONE
TREE TO BE REMOVED

1 BEDROOM UNIT
1 BEDROOM ADAPTABLE UNIT
2 BEDROOM UNIT
2 BEDROOM ADAPTABLE UNIT
3 BEDROOM UNIT
SHAFT
BIN CHUTE/ BINS ROOM
LANDSCAPE

UNITS SCHEDULE			
Unit	Name	Area	Comments
GL-U1	2 BEDROOM ADAPTABLE UNIT	71.3 m²	AFFORDABLE
GL-U2	2 BEDROOM UNIT	72.5 m²	AFFORDABLE
GL-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
GL-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m²	AFFORDABLE
GL-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L1-U1	2 BEDROOM UNIT	80.2 m²	AFFORDABLE
L1-U2	2 BEDROOM UNIT	76.4 m²	AFFORDABLE
L1-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
L1-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m²	AFFORDABLE
L1-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L2-U1	2 BEDROOM UNIT	80.2 m²	AFFORDABLE
L2-U2	2 BEDROOM UNIT	76.4 m²	AFFORDABLE
L2-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
L2-U4	1 BEDROOM UNIT	59.7 m²	
L2-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L3-U1	2 BEDROOM UNIT	80.2 m²	
L3-U2	2 BEDROOM UNIT	76.4 m²	
L3-U3	2 BEDROOM UNIT	77.2 m²	
L3-U4	1 BEDROOM UNIT	59.7 m²	AFFORDABLE
L3-U5	2 BEDROOM UNIT	78.2 m²	
L4-U1	1 BEDROOM UNIT	56.3 m²	
L4-U2	1 BEDROOM UNIT	51.2 m²	
L4-U3	2 BEDROOM UNIT	75.7 m²	
L4-U4	2 BEDROOM UNIT	75.3 m²	
L5-U1	1 BEDROOM UNIT	55.8 m²	
L5-U2	1 BEDROOM UNIT	51.3 m²	
L5-U3	3 BEDROOM UNIT	98.2 m²	
L5-U4	1 BEDROOM UNIT	50.3 m²	

28



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
2. ANY DESCREANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.
MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C DA ISSUE 31/07/24
B DEP COUNCIL RFI'S RESPONSE 18/03/24
A DA ISSUE 14/12/23

ISSUE AMENDMENTS DATE

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-205

DRAWING TITLE:

LEVEL 02 FLOOR PLAN

SCALE

As indicated @ A3



PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK

LEGEND

NTR NON-TRAFFICABLE ROOF
P.O.S PRIVATE OPEN SPACE
AC A/C CONDENSER UNIT WITH SLAT SCREEN ENSLOSURE 1.1M H. REFER DETAIL

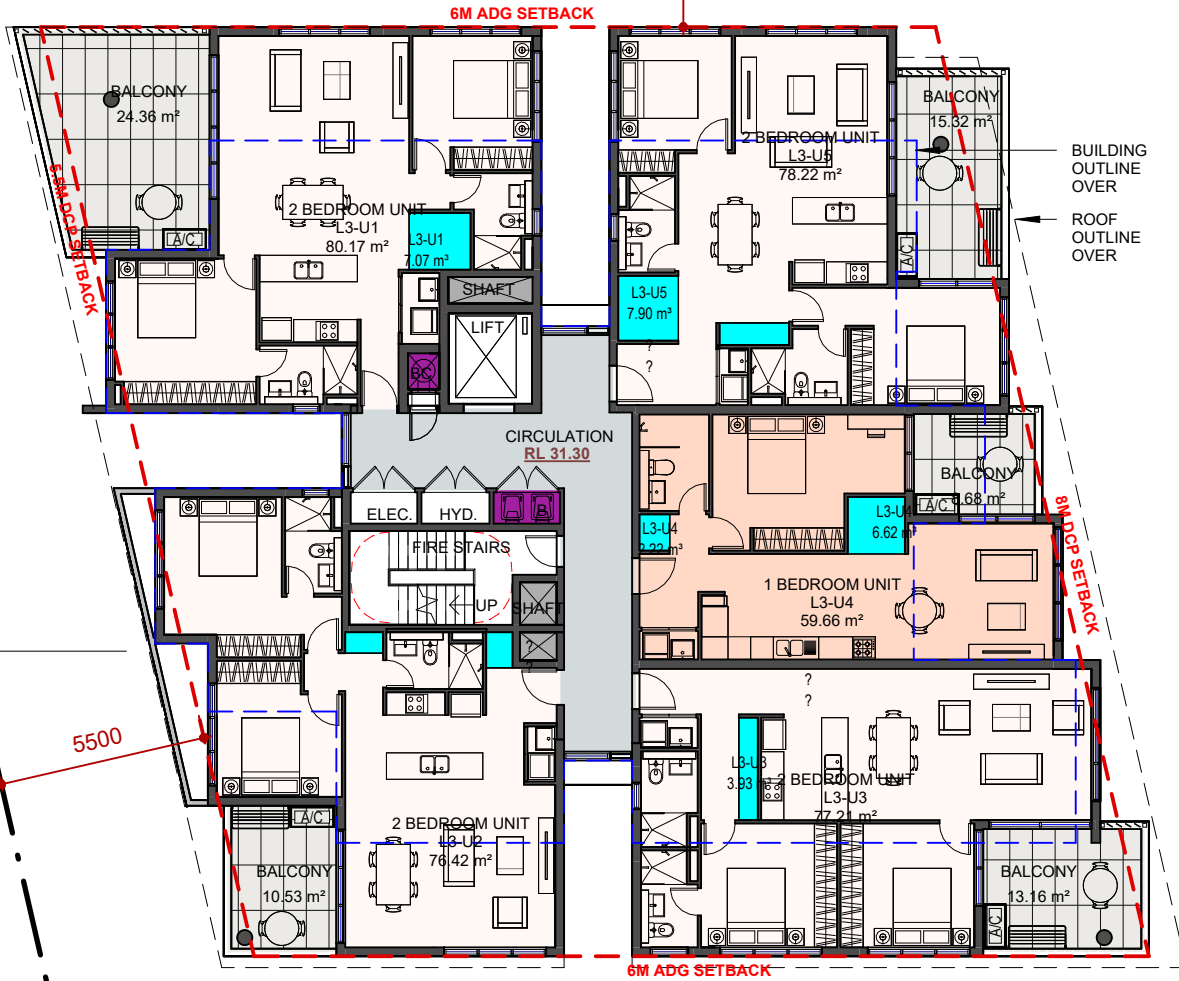
STRUCTURAL ROOT ZONE
TREE PROTECTION ZONE
TREE TO BE REMOVED

1 BEDROOM UNIT
1 BEDROOM ADAPTABLE UNIT
2 BEDROOM UNIT
2 BEDROOM ADAPTABLE UNIT
3 BEDROOM UNIT
SHAFT
BIN CHUTE/ BINS ROOM
LANDSCAPE

UNITS SCHEDULE

Unit	Name	Area	Comments
GL-U1	2 BEDROOM ADAPTABLE UNIT	71.3 m²	AFFORDABLE
GL-U2	2 BEDROOM UNIT	72.5 m²	AFFORDABLE
GL-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
GL-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m²	AFFORDABLE
GL-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L1-U1	2 BEDROOM UNIT	80.2 m²	AFFORDABLE
L1-U2	2 BEDROOM UNIT	76.4 m²	AFFORDABLE
L1-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
L1-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m²	AFFORDABLE
L1-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L2-U1	2 BEDROOM UNIT	80.2 m²	AFFORDABLE
L2-U2	2 BEDROOM UNIT	76.4 m²	AFFORDABLE
L2-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
L2-U4	1 BEDROOM UNIT	59.7 m²	
L2-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L3-U1	2 BEDROOM UNIT	80.2 m²	
L3-U2	2 BEDROOM UNIT	76.4 m²	
L3-U3	2 BEDROOM UNIT	77.2 m²	
L3-U4	1 BEDROOM UNIT	59.7 m²	AFFORDABLE
L3-U5	2 BEDROOM UNIT	78.2 m²	
L4-U1	1 BEDROOM UNIT	56.3 m²	
L4-U2	1 BEDROOM UNIT	51.2 m²	
L4-U3	2 BEDROOM UNIT	75.7 m²	
L4-U4	2 BEDROOM UNIT	75.3 m²	
L5-U1	1 BEDROOM UNIT	55.8 m²	
L5-U2	1 BEDROOM UNIT	51.3 m²	
L5-U3	3 BEDROOM UNIT	98.2 m²	
L5-U4	1 BEDROOM UNIT	50.3 m²	

28



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C DA ISSUE 31/07/24
B DEP COUNCIL RFI'S RESPONSE 18/03/24
A DA ISSUE 14/12/23

ISSUE AMENDMENTS DATE

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-206

DRAWING TITLE:

LEVEL 03 FLOOR PLAN

SCALE

As indicated @ A3



PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK

LEGEND

NTR

NON-TRAFFICABLE ROOF

P.O.S

PRIVATE OPEN SPACE

AC

A/C CONDENSER UNIT WITH
SLAT SCREEN ENSLOSURE
1.1M H. REFER DETAIL

STRUCTURAL ROOT ZONE

TREE PROTECTION ZONE

TREE TO BE REMOVED

1 BEDROOM UNIT

1 BEDROOM ADAPTABLE UNIT

2 BEDROOM UNIT

2 BEDROOM ADAPTABLE UNIT

3 BEDROOM UNIT

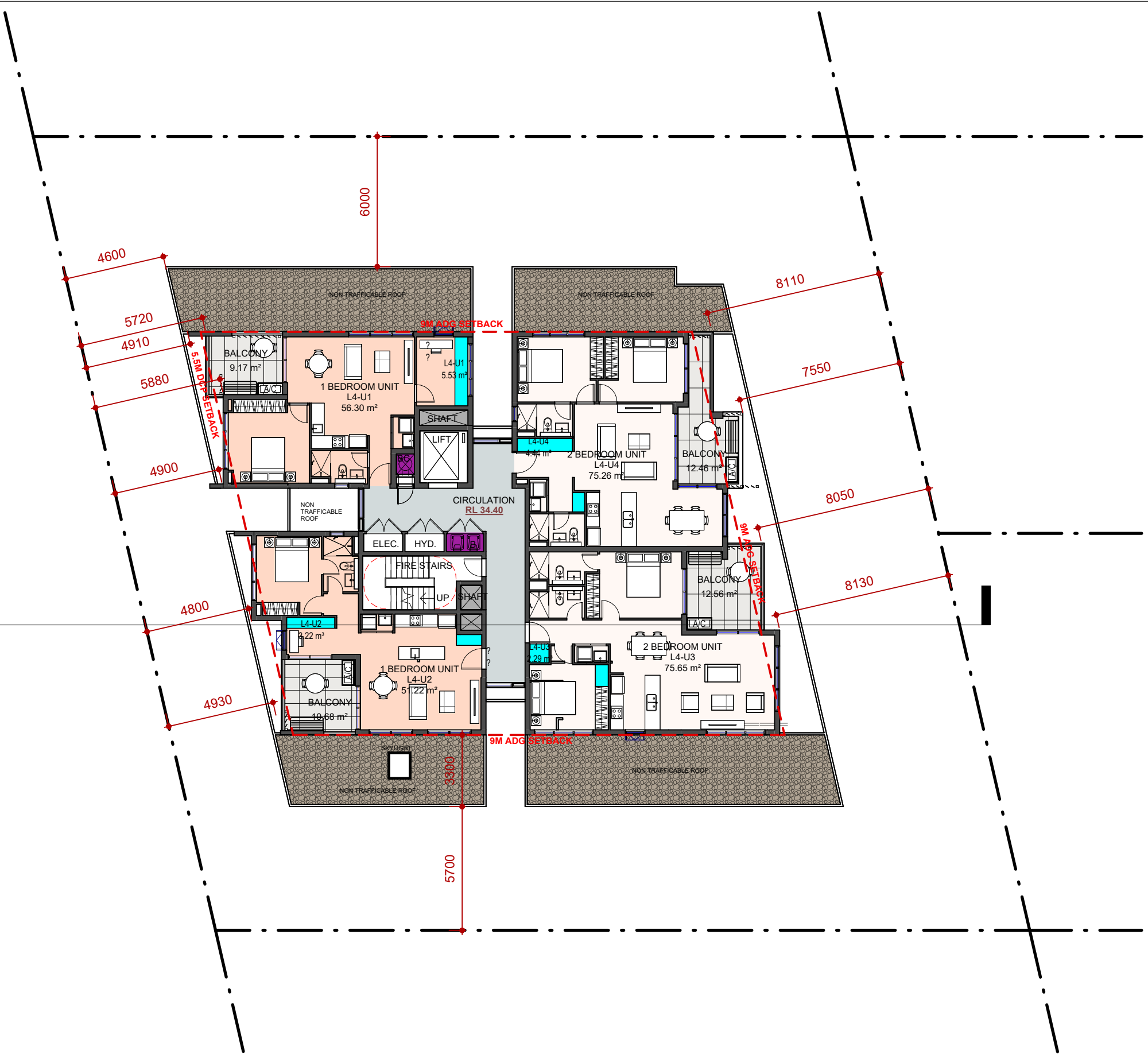
SHAFT

BC/ B
BIN CHUTE/ BINS ROOM

LANDSCAPE

UNITS SCHEDULE			
Unit	Name	Area	Comments
GL-U1	2 BEDROOM ADAPTABLE UNIT	71.3 m²	AFFORDABLE
GL-U2	2 BEDROOM UNIT	72.5 m²	AFFORDABLE
GL-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
GL-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m²	AFFORDABLE
GL-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L1-U1	2 BEDROOM UNIT	80.2 m²	AFFORDABLE
L1-U2	2 BEDROOM UNIT	76.4 m²	AFFORDABLE
L1-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
L1-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m²	AFFORDABLE
L1-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L2-U1	2 BEDROOM UNIT	80.2 m²	AFFORDABLE
L2-U2	2 BEDROOM UNIT	76.4 m²	AFFORDABLE
L2-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
L2-U4	1 BEDROOM UNIT	59.7 m²	
L2-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L3-U1	2 BEDROOM UNIT	80.2 m²	
L3-U2	2 BEDROOM UNIT	76.4 m²	
L3-U3	2 BEDROOM UNIT	77.2 m²	
L3-U4	1 BEDROOM UNIT	59.7 m²	AFFORDABLE
L3-U5	2 BEDROOM UNIT	78.2 m²	
L4-U1	1 BEDROOM UNIT	56.3 m²	
L4-U2	1 BEDROOM UNIT	51.2 m²	
L4-U3	2 BEDROOM UNIT	75.7 m²	
L4-U4	2 BEDROOM UNIT	75.3 m²	
L5-U1	1 BEDROOM UNIT	55.8 m²	
L5-U2	1 BEDROOM UNIT	51.3 m²	
L5-U3	3 BEDROOM UNIT	98.2 m²	
L5-U4	1 BEDROOM UNIT	50.3 m²	

28



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
2. ANY DESCREANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.
MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C DA ISSUE 31/07/24

B DEP COUNCIL RFI'S RESPONSE 18/03/24

A DA ISSUE 14/12/23

ISSUE AMENDMENTS DATE

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-207

DRAWING TITLE:

LEVEL 04 FLOOR PLAN

SCALE

As indicated @ A3

PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK

LEGEND

NTR

NON-TRAFFICABLE ROOF

P.O.S

PRIVATE OPEN SPACE

AC

A/C CONDENSER UNIT WITH
SLAT SCREEN ENCLOSURE
1.1M H. REFER DETAIL

STRUCTURAL ROOT ZONE

TREE PROTECTION ZONE

TREE TO BE REMOVED

1 BEDROOM UNIT

1 BEDROOM ADAPTABLE UNIT

2 BEDROOM UNIT

2 BEDROOM ADAPTABLE UNIT

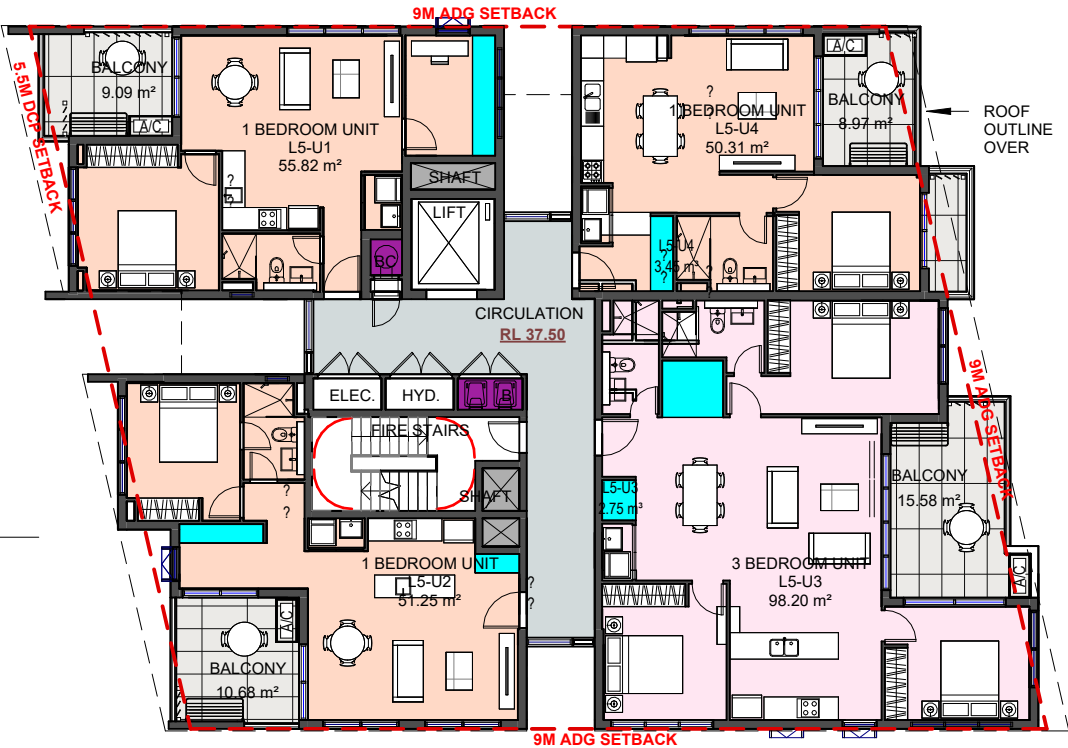
3 BEDROOM UNIT

SHAFT

BC/ B
BIN CHUTE/ BINS ROOM

LANDSCAPE

UNITS SCHEDULE			
Unit	Name	Area	Comments
GL-U1	2 BEDROOM ADAPTABLE UNIT	71.3 m²	AFFORDABLE
GL-U2	2 BEDROOM UNIT	72.5 m²	AFFORDABLE
GL-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
GL-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m²	AFFORDABLE
GL-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L1-U1	2 BEDROOM UNIT	80.2 m²	AFFORDABLE
L1-U2	2 BEDROOM UNIT	76.4 m²	AFFORDABLE
L1-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
L1-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m²	AFFORDABLE
L1-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L2-U1	2 BEDROOM UNIT	80.2 m²	AFFORDABLE
L2-U2	2 BEDROOM UNIT	76.4 m²	AFFORDABLE
L2-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
L2-U4	1 BEDROOM UNIT	59.7 m²	
L2-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L3-U1	2 BEDROOM UNIT	80.2 m²	
L3-U2	2 BEDROOM UNIT	76.4 m²	
L3-U3	2 BEDROOM UNIT	77.2 m²	
L3-U4	1 BEDROOM UNIT	59.7 m²	AFFORDABLE
L3-U5	2 BEDROOM UNIT	78.2 m²	
L4-U1	1 BEDROOM UNIT	56.3 m²	
L4-U2	1 BEDROOM UNIT	51.2 m²	
L4-U3	2 BEDROOM UNIT	75.7 m²	
L4-U4	2 BEDROOM UNIT	75.3 m²	
L5-U1	1 BEDROOM UNIT	55.8 m²	
L5-U2	1 BEDROOM UNIT	51.3 m²	
L5-U3	3 BEDROOM UNIT	98.2 m²	
L5-U4	1 BEDROOM UNIT	50.3 m²	



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

- ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 - ANY DISCREPANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
 - LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 - FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 - ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 - WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 - STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 - ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-208

DRAWING TITLE:

LEVEL 05 FLOOR PLAN

SCALE

As indicated @ A3



PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK

LEGEND

- NTR

P.O.S

AC
- NON-TRAFFICABLE ROOF

PRIVATE OPEN SPACE

A/C CONDENSER UNIT WITH
SLAT SCREEN ENSLOSURE
1.1M H. REFER DETAIL
-
- STRUCTURAL ROOT ZONE

TREE PROTECTION ZONE

TREE TO BE REMOVED
-
- 1 BEDROOM UNIT

1 BEDROOM ADAPTABLE UNIT

2 BEDROOM UNIT

2 BEDROOM ADAPTABLE UNIT

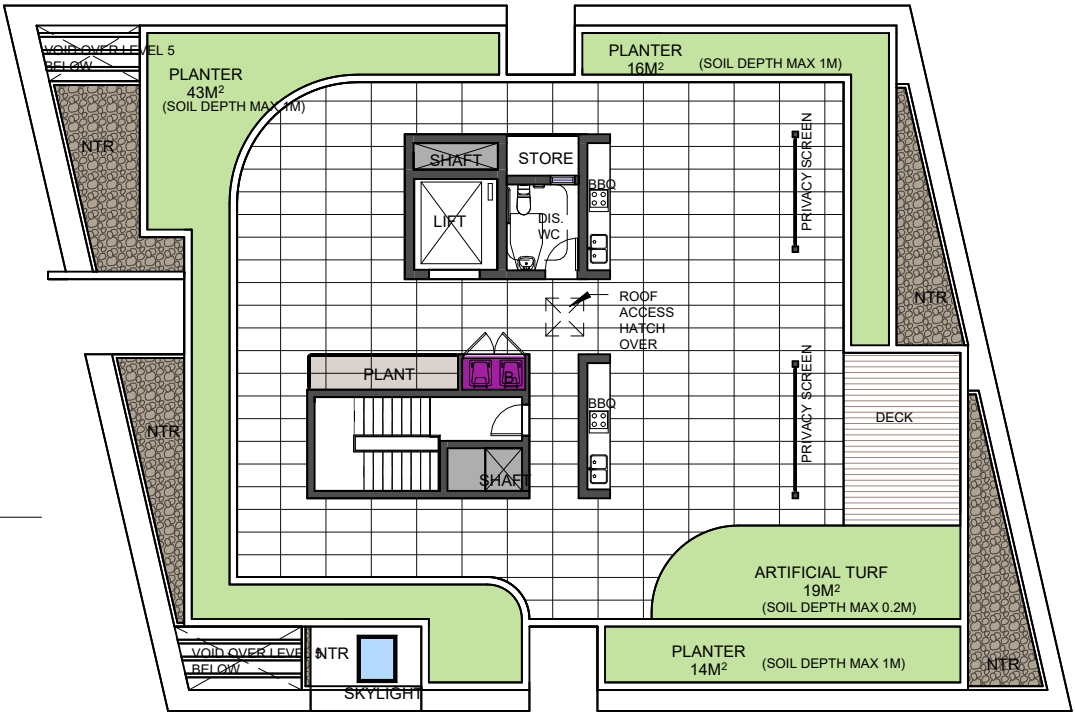
3 BEDROOM UNIT

SHAFT

BC/ B

LANDSCAPE

BIN CHUTE/ BINS ROOM
-



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DESCREANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-209

DRAWING TITLE:

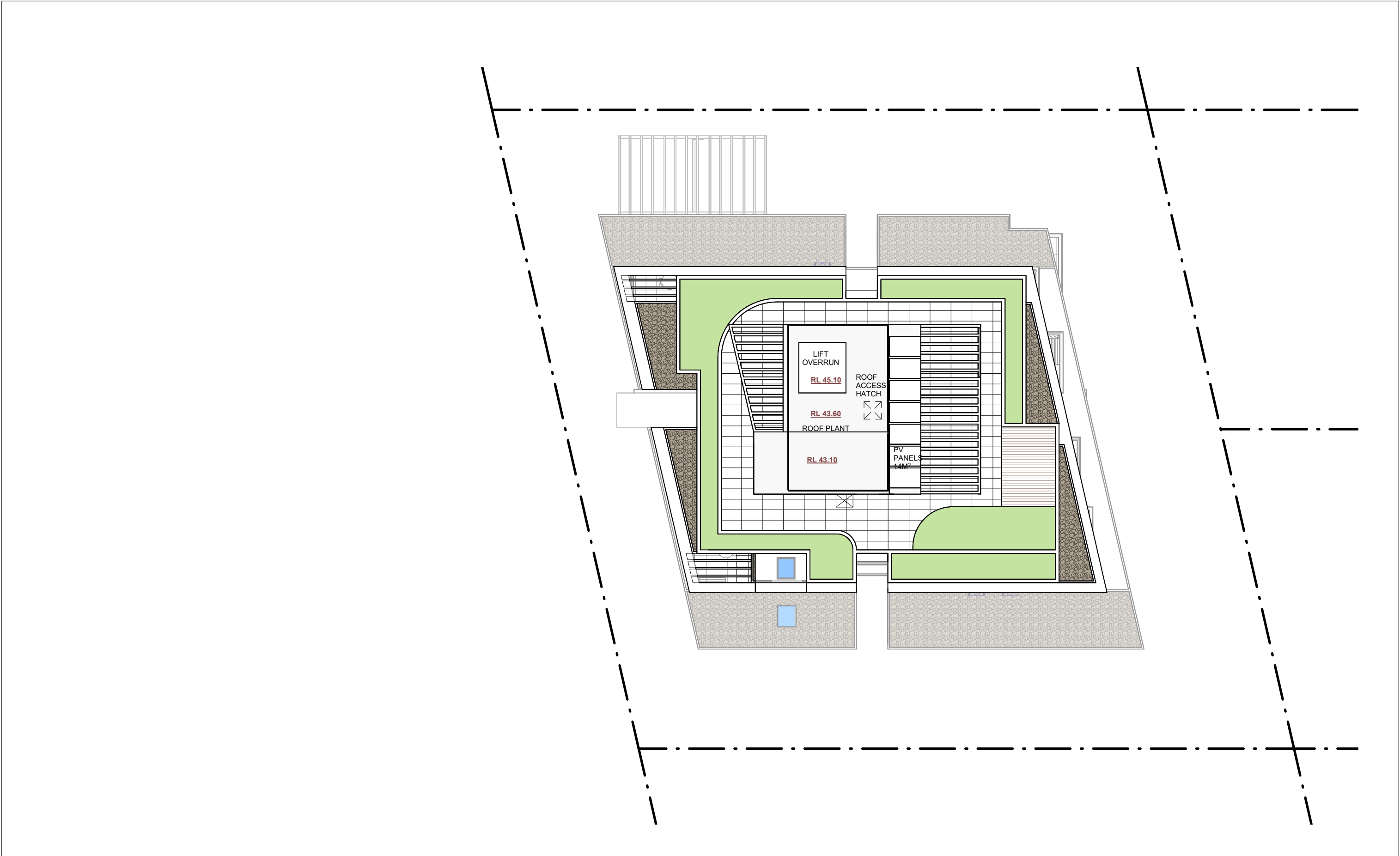
LEVEL 06 FLOOR PLAN

SCALE

As indicated @ A3

PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



<div>MORFOSIS ARCHITECTS PTY LTD</div> <div>Suite 8 695 The Horsley Drive, Smithfield NSW 2164 ABN 44 609 593 473 P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623 NOM ARCH J LIGADU NSW ARB NO 8549</div>	<div>GENERAL NOTES</div> <div>1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK. 2. ANY DESCREANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER. 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR. 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING. 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK. 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING. 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING. MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.</div>			ISSUE	CLIENT	DRAWING NUMBER: DA-210	PROJECT
	<div>C DA ISSUE 31/07/24</div> <div>B DEP COUNCIL RFI'S RESPONSE 18/03/24</div>			MCKAY MOOREBANK	DRAWING TITLE: ROOF PLAN	RESIDENTIAL FLAT BUILDING DEVELOPMENT AT 28 & 30 MCKAY AVENUE MOOREBANK	
	ISSUE	AMENDMENTS	DATE	C	SCALE 1 : 200 @ A3		

LEGEND

- FCL

NTR

P.O.S

BG

PS

GT

HL

SLW

GL

AC

1 BEDROOM UNIT

1 BEDROOM ADAPTABLE UNIT

2 BEDROOM UNIT

2 BEDROOM ADAPTABLE UNIT

3 BEDROOM UNIT

SHAFT

BC/ B

LANDSCAPE
- FOLDING CLOTHELINES

NON-TRAFFICABLE ROOF

PRIVATE OPEN SPACE

BOX GUTTER

PRIVACY SCREENS

GARDEN TAP

HI-LIGHT WINDOWS
- MINIMUM 1.5M SILL HEIGHT

SLIDING WINDOWS
- SILL HEIGHT BELOW 1.5M SHALL BE PROVIDED WITH RESTRICTOR TO ALLOW MAX 125MM DIA. SPHERE OPENING AS PER NCC (APPLICABLE TO LEVEL 1 & ABOVE WINDOWS)

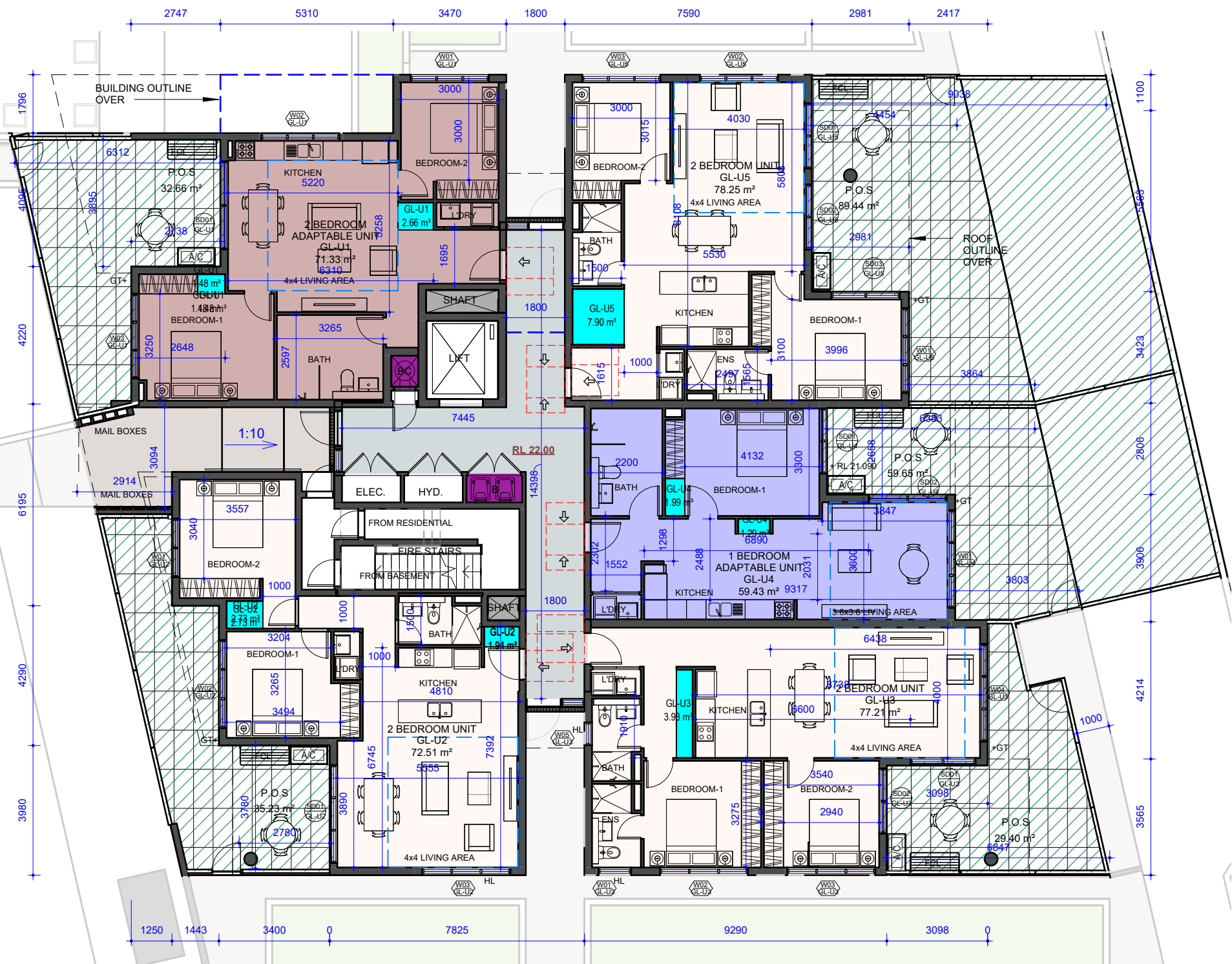
GLASS LOUVRE WINDOW

A/C CONDENSER UNIT WITH SLAT SCREEN ENCLOSURE 1.1M H. REFER DETAIL

STRUCTURAL ROOT ZONE

TREE PROTECTION ZONE

TREE TO BE REMOVED



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-211

DRAWING TITLE:

DETAILED PLAN - GF LVL

SCALE

As indicated @ A3



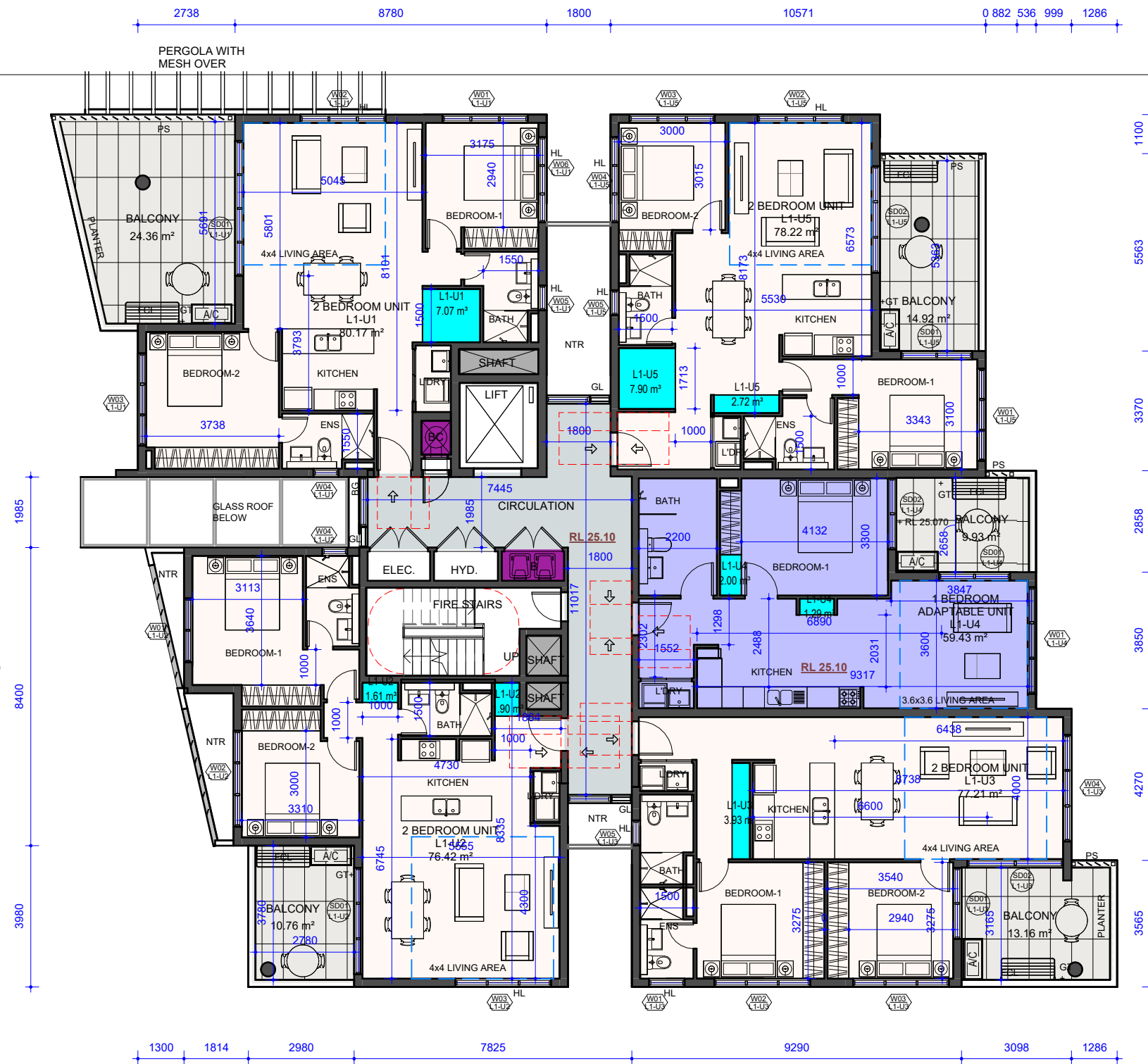
PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



LEGEND

FCL	FOLDING CLOTHELINES
NTR	NON-TRAFFICABLE ROOF
P.O.S	PRIVATE OPEN SPACE
BG	BOX GUTTER
PS	PRIVACY SCREENS
GT	GARDEN TAP
*OPERABLE WINDOWS ARE AWNING UNLESS NOTED OTHERWISE	
HL	HI-LIGHT WINDOWS - MINIMUM 1.5M SILL HEIGHT
SLW	SLIDING WINDOWS - SILL HEIGHT BELOW 1.5M SHALL BE PROVIDED WITH RESTRICTOR TO ALLOW MAX 125MM DIA. SPHERE OPENING AS PER NCC (APPLICABLE TO LEVEL 1 & ABOVE WINDOWS)
GL	GLASS LOUVRE WINDOW
AC	A/C CONDENSER UNIT WITH SLAT SCREEN ENCLOSURE 1.1M H. REFER DETAIL
---	STRUCTURAL ROOT ZONE
---	TREE PROTECTION ZONE
---	TREE TO BE REMOVED
	1 BEDROOM UNIT
	1 BEDROOM ADAPTABLE UNIT
	2 BEDROOM UNIT
	2 BEDROOM ADAPTABLE UNIT
	3 BEDROOM UNIT
	SHAFT
	BC/ B BIN CHUTE/ BINS ROOM
	LANDSCAPE



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-212

DRAWING TITLE:

DETAILED PLAN - LVL 01

SCALE

As indicated @ A3



PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK

LEGEND

FCL	FOLDING CLOTHELINES
NTR	NON-TRAFFICABLE ROOF
P.O.S	PRIVATE OPEN SPACE
BG	BOX GUTTER
PS	PRIVACY SCREENS
GT	GARDEN TAP

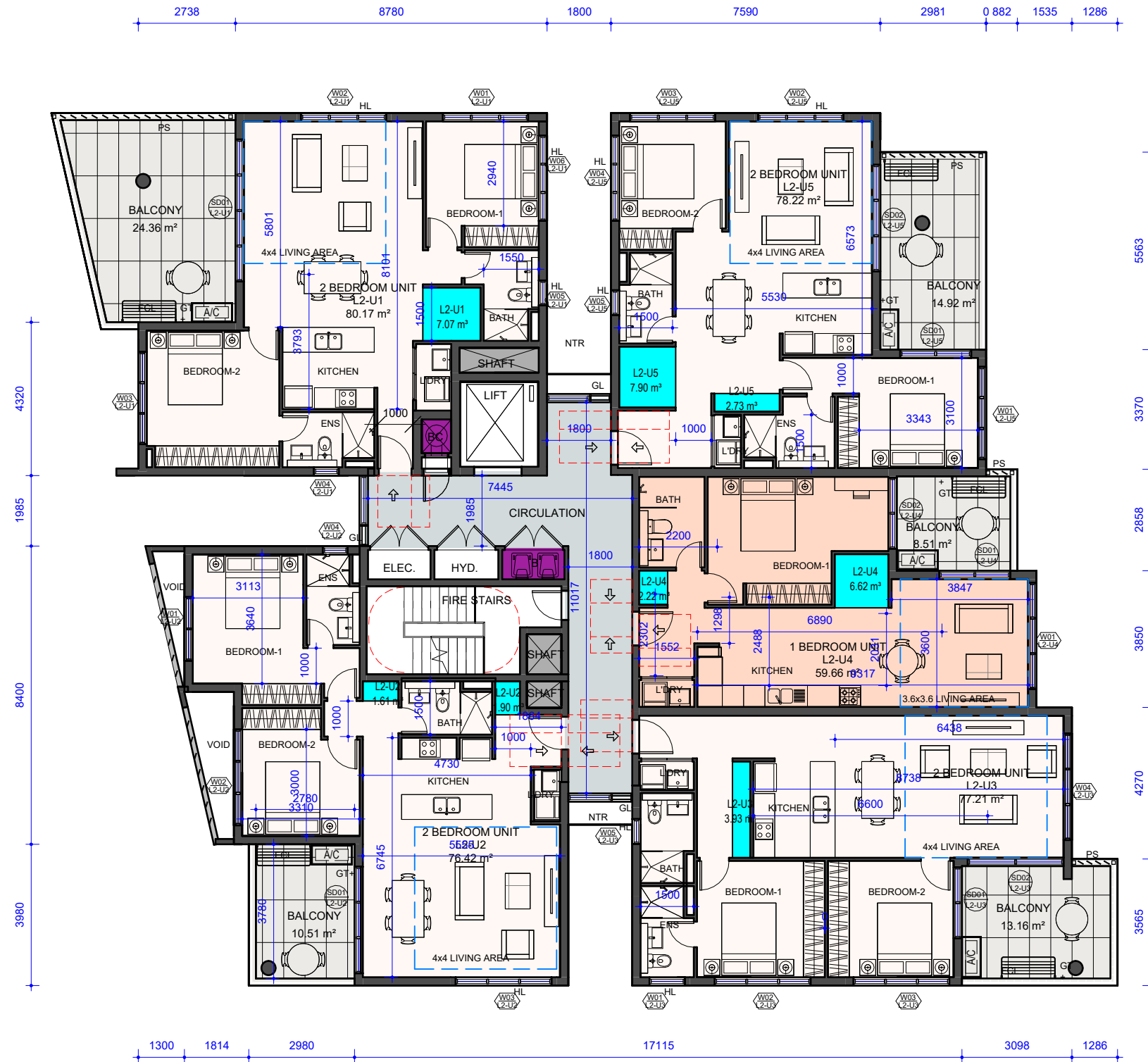
*OPERABLE WINDOWS ARE AWNING
UNLESS NOTED OTHERWISE

HL	HI-LIGHT WINDOWS - MINIMUM 1.5M SILL HEIGHT
SLW	SLIDING WINDOWS - SILL HEIGHT BELOW 1.5M SHALL BE PROVIDED WITH RESTRICTOR TO ALLOW MAX 125MM DIA. SPHERE OPENING AS PER NCC (APPLICABLE TO LEVEL 1 & ABOVE WINDOWS)

GL	GLASS LOUVRE WINDOW
AC	A/C CONDENSER UNIT WITH SLAT SCREEN ENCLOSURE 1.1M H. REFER DETAIL

---	STRUCTURAL ROOT ZONE
---	TREE PROTECTION ZONE
---	TREE TO BE REMOVED

	1 BEDROOM UNIT
	1 BEDROOM ADAPTABLE UNIT
	2 BEDROOM UNIT
	2 BEDROOM ADAPTABLE UNIT
	3 BEDROOM UNIT
	SHAFT
	BC/ B BIN CHUTE/ BINS ROOM
	LANDSCAPE



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

- ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
- LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
- STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
- ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

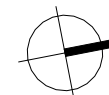
DA-213

DRAWING TITLE:

DETAILED PLAN - LVL 02

SCALE

As indicated @ A3

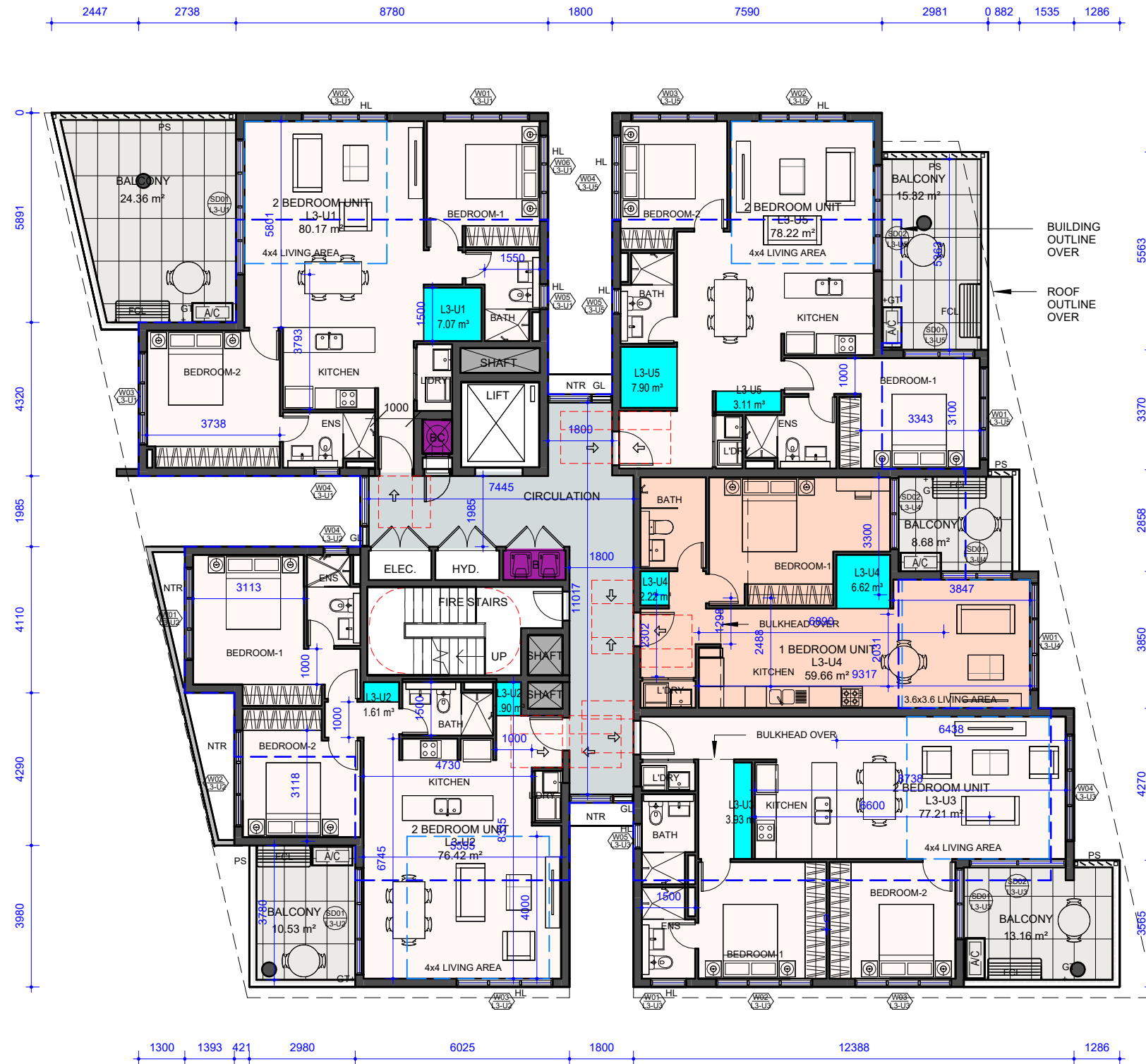


PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK

LEGEND

- FCL FOLDING CLOTHELINES
NTR NON-TRAFFICABLE ROOF
P.O.S PRIVATE OPEN SPACE
BG BOX GUTTER
PS PRIVACY SCREENS
GT GARDEN TAP
- *OPERABLE WINDOWS ARE AWNING UNLESS NOTED OTHERWISE
- HL HI-LIGHT WINDOWS
- MINIMUM 1.5M SILL HEIGHT
SLW SLIDING WINDOWS
- SILL HEIGHT BELOW 1.5M SHALL BE PROVIDED WITH RESTRICTOR TO ALLOW MAX 125MM DIA. SPHERE OPENING AS PER NCC (APPLICABLE TO LEVEL 1 & ABOVE WINDOWS)
- GL GLASS LOUVRE WINDOW
AC A/C CONDENSER UNIT WITH SLAT SCREEN ENCLOSURE 1.1M H. REFER DETAIL
- STRUCTURAL ROOT ZONE
--- TREE PROTECTION ZONE
--- TREE TO BE REMOVED
- 1 BEDROOM UNIT
1 BEDROOM ADAPTABLE UNIT
2 BEDROOM UNIT
2 BEDROOM ADAPTABLE UNIT
3 BEDROOM UNIT
SHAFT
BC/ B BIN CHUTE/ BINS ROOM
LANDSCAPE



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

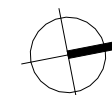
DA-214

DRAWING TITLE:

DETAILED PLAN - LVL 03

SCALE

As indicated @ A3



PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK

LEGEND

- FCL

FOLDING CLOTHELINES
- NTR

NON-TRAFFICABLE ROOF
- P.O.S

PRIVATE OPEN SPACE
- BG

BOX GUTTER
- PS

PRIVACY SCREENS
- GT

GARDEN TAP
- *OPERABLE WINDOWS ARE AWNING
UNLESS NOTED OTHERWISE
- HL

HI-LIGHT WINDOWS
- MINIMUM 1.5M SILL HEIGHT
- SLW

SLIDING WINDOWS
- SILL HEIGHT BELOW 1.5M SHALL BE PROVIDED
WITH RESTRICTOR TO ALLOW MAX 125MM DIA.
SPHERE OPENING AS PER NCC (APPLICABLE
TO LEVEL 1 & ABOVE WINDOWS)
- GL

GLASS LOUVRE WINDOW
- AC

A/C CONDENSER UNIT WITH
SLAT SCREEN ENCLOSURE
1.1M H. REFER DETAIL
- STRUCTURAL ROOT ZONE
- TREE PROTECTION ZONE
- TREE TO BE REMOVED
- 1 BEDROOM UNIT
- 1 BEDROOM ADAPTABLE UNIT
- 2 BEDROOM UNIT
- 2 BEDROOM ADAPTABLE UNIT
- 3 BEDROOM UNIT
- SHAFT
- BC/ B

BIN CHUTE/ BINS ROOM
- LANDSCAPE



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-215

DRAWING TITLE:

DETAILED PLAN - LVL 04

SCALE

As indicated @ A3



PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK

LEGEND

- FCL

FOLDING CLOTHELINES
- NTR

NON-TRAFFICABLE ROOF
- P.O.S

PRIVATE OPEN SPACE
- BG

BOX GUTTER
- PS

PRIVACY SCREENS
- GT

GARDEN TAP
- *OPERABLE WINDOWS ARE AWNING UNLESS NOTED OTHERWISE
- HL

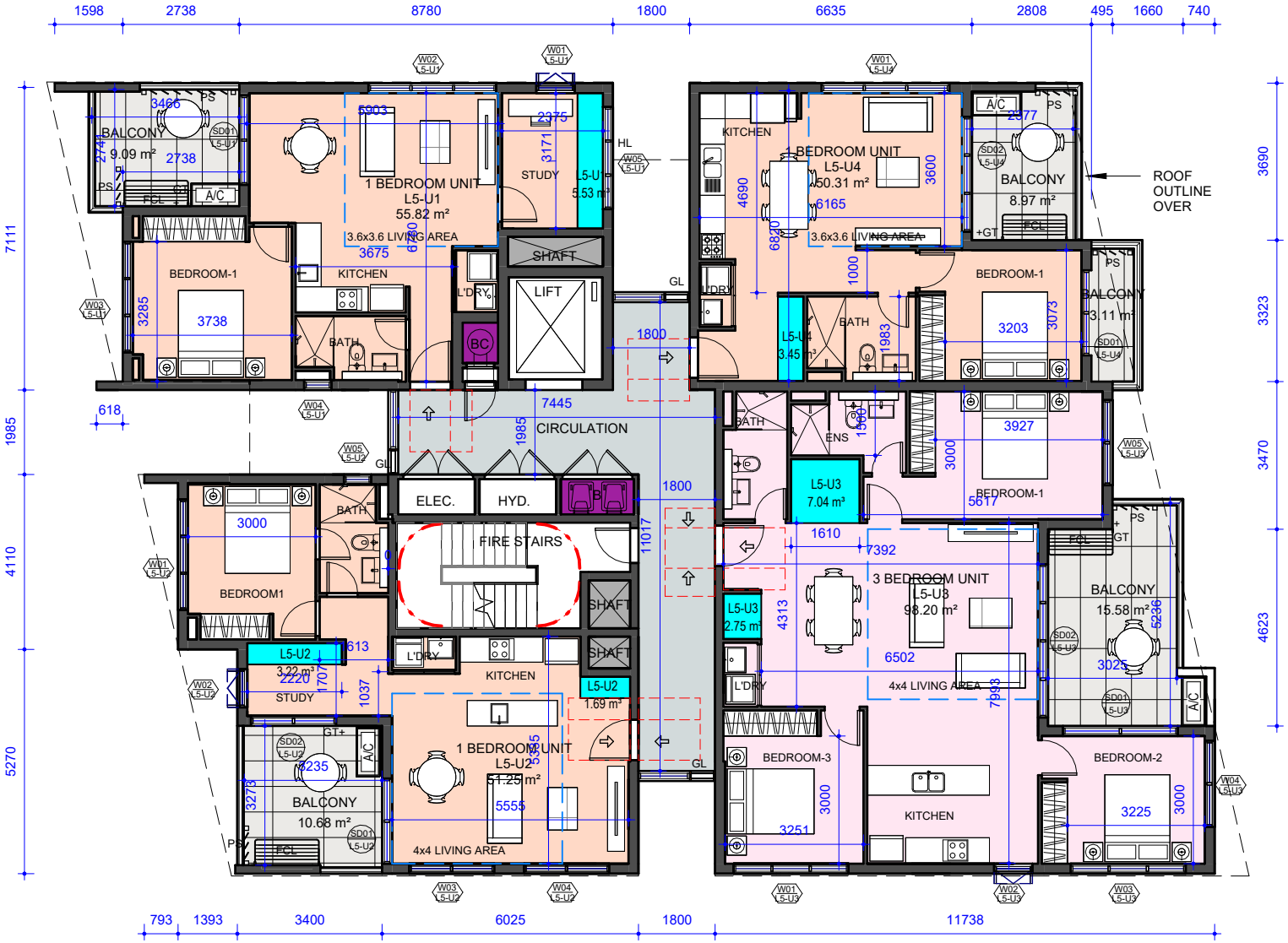
HI-LIGHT WINDOWS
- MINIMUM 1.5M SILL HEIGHT
- SLW

SLIDING WINDOWS
- SILL HEIGHT BELOW 1.5M SHALL BE PROVIDED WITH RESTRICTOR TO ALLOW MAX 125MM DIA. SPHERE OPENING AS PER NCC (APPLICABLE TO LEVEL 1 & ABOVE WINDOWS)
- GL

GLASS LOUVRE WINDOW
- AC

A/C CONDENSER UNIT WITH SLAT SCREEN ENCLOSURE 1.1M H. REFER DETAIL
- STRUCTURAL ROOT ZONE
- TREE PROTECTION ZONE
- TREE TO BE REMOVED
- 1 BEDROOM UNIT
- 1 BEDROOM ADAPTABLE UNIT
- 2 BEDROOM UNIT
- 2 BEDROOM ADAPTABLE UNIT
- 3 BEDROOM UNIT
- SHAFT
- BC/B

BIN CHUTE/ BINS ROOM
- LANDSCAPE



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

- ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 - ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 - LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 - FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 - ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF THIS BUILDING WORK.
 - WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 - STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 - ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-216

DRAWING TITLE:

DETAILED PLAN - LVL 05

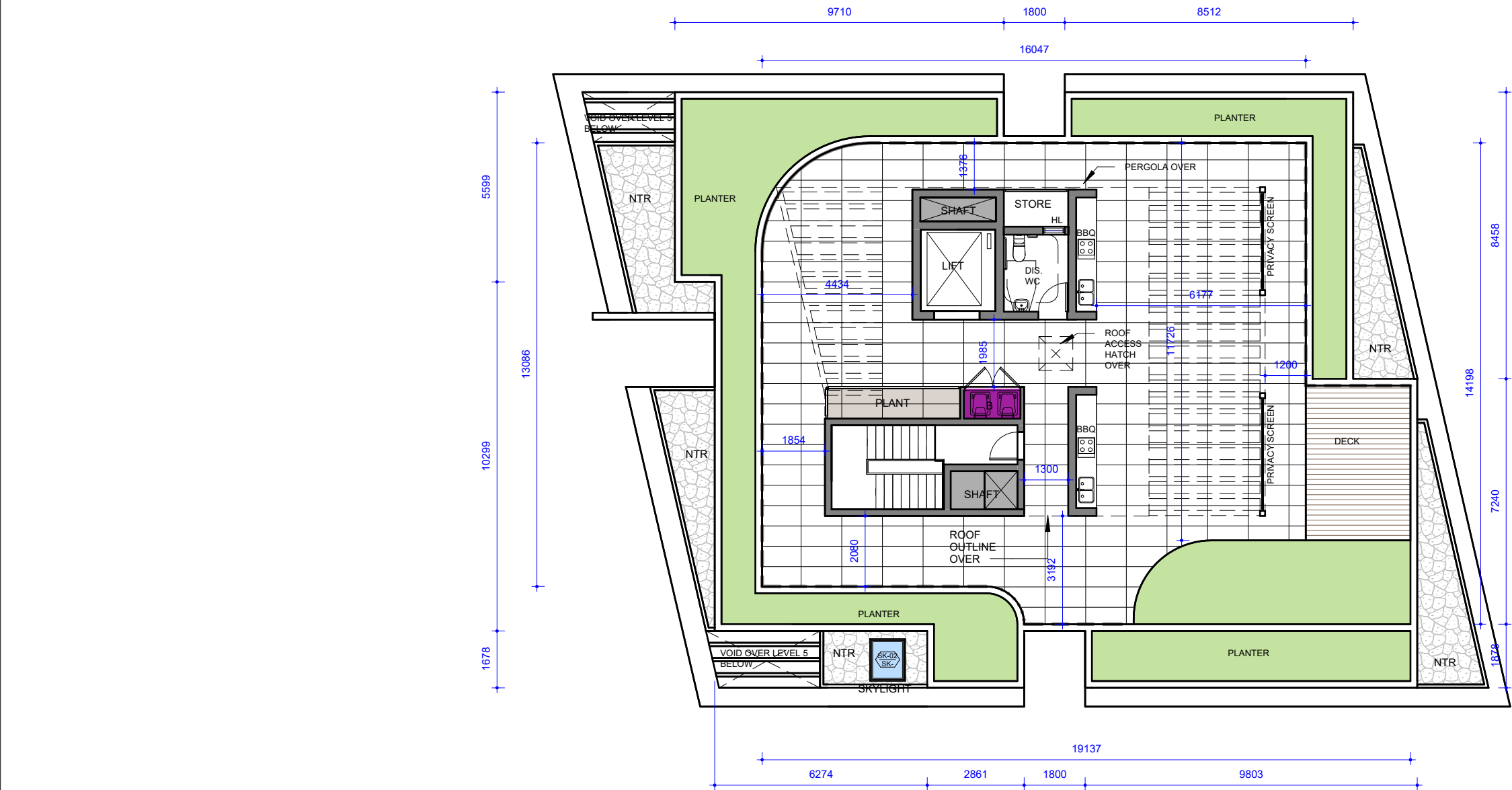
SCALE


As indicated @ A3

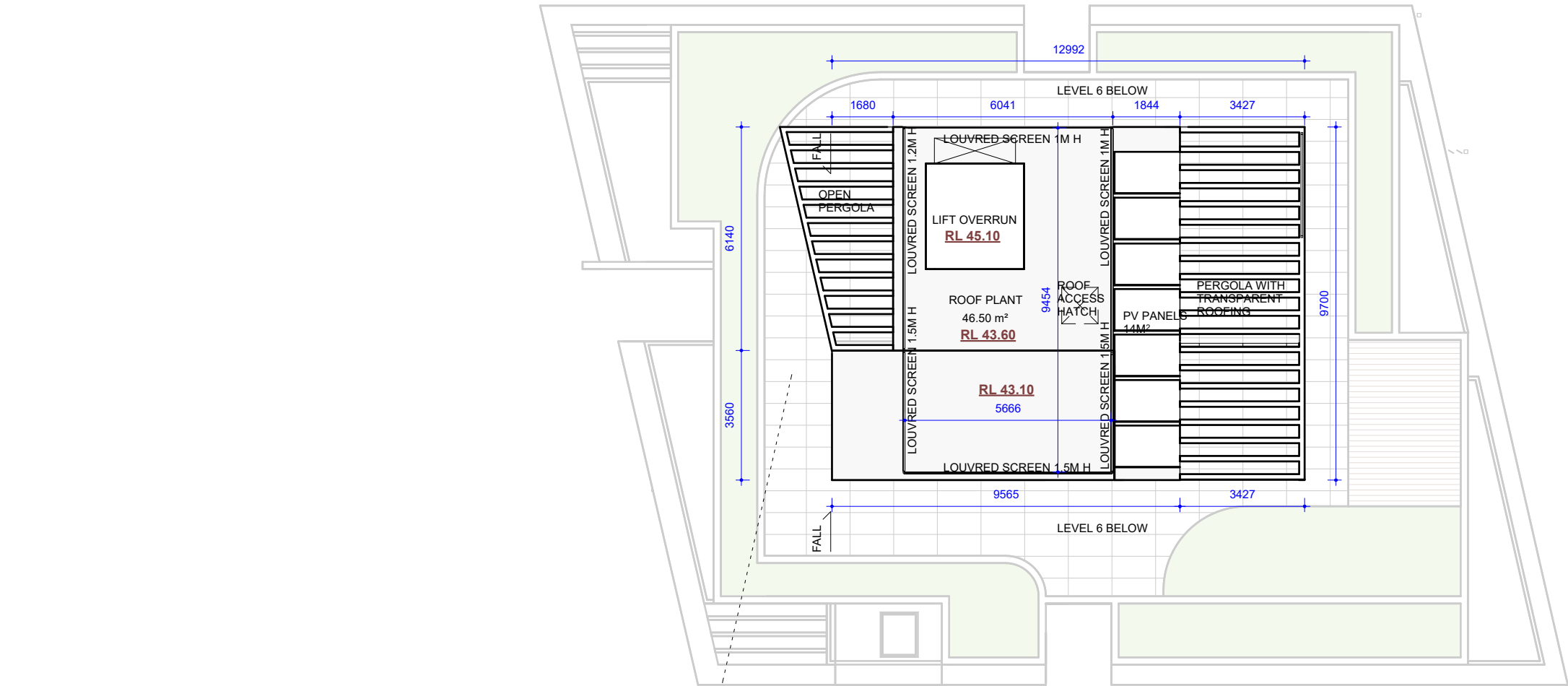


PROJECT

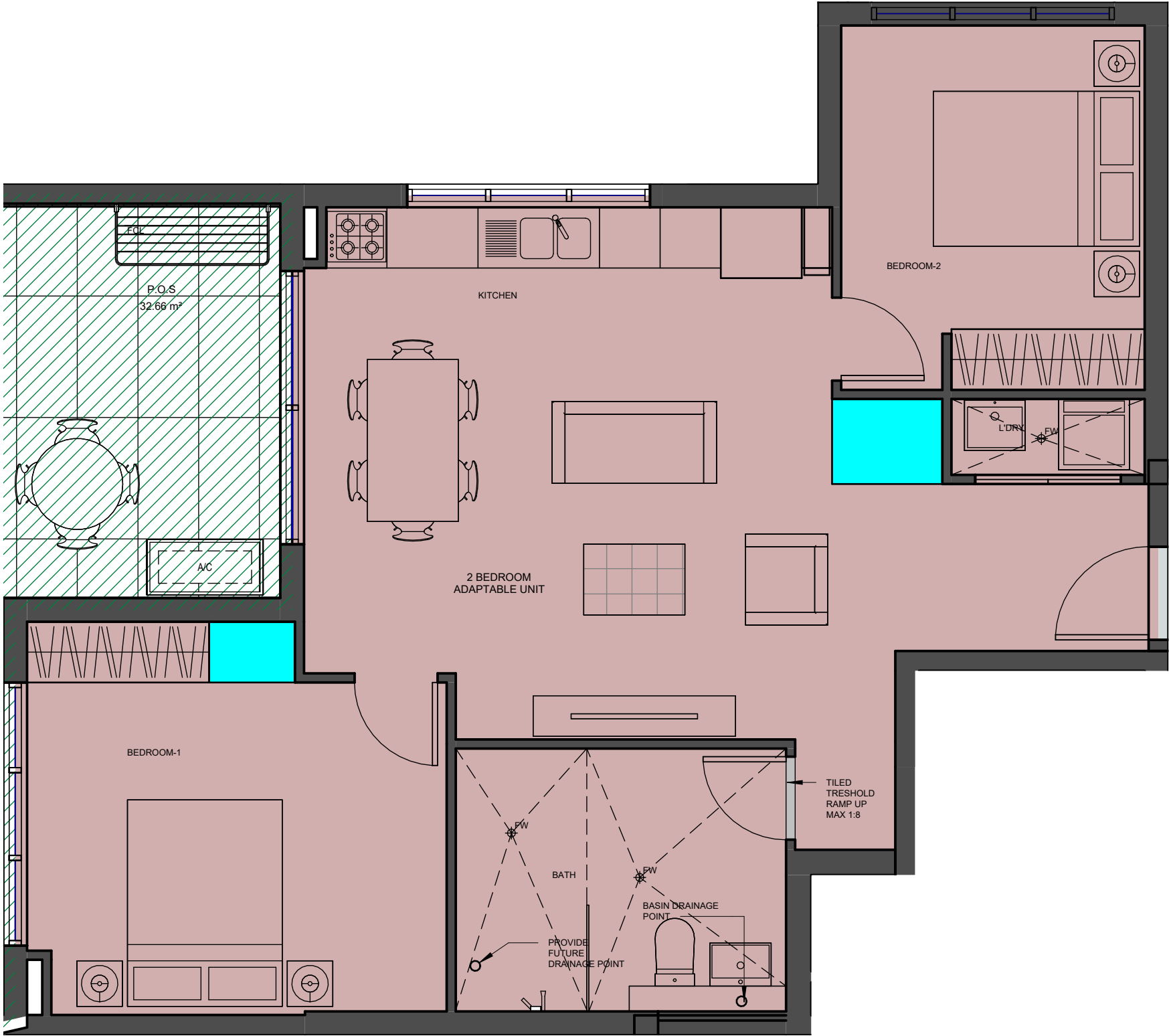
RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



<div>MORFOSIS ARCHITECTS PTY LTD</div> <div>Suite 8 695 The Horsley Drive, Smithfield NSW 2164 ABN 44 609 593 473 P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623 NOM ARCH J LIGADU NSW ARB NO 8549</div>	<div>GENERAL NOTES</div> <div>1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK. 2. ANY DESCREPANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER. 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR. 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING. 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK. 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING. 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING. MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.</div>			<div>CDA ISSUE31/07/24</div> <div>BDEP COUNCIL RFI'S RESPONSE18/03/24</div> <div>ADA ISSUE14/12/23</div>		<div>ISSUE</div> <div>C</div>	<div>CLIENT</div> <div>MCKAY MOOREBANK</div>	<div>DRAWING NUMBER:</div> <div>DA-217</div>	<div>PROJECT</div> <div>RESIDENTIAL FLAT BUILDING DEVELOPMENT AT 28 & 30 MCKAY AVENUE MOOREBANK</div>
	<div>DRAWING TITLE:</div> <div>DETAILED PLAN - LEVEL 06</div>								
	<div>SCALE</div> <div>1 : 150 @ A3</div>								
	<div></div>								



<div>MORFOSIS ARCHITECTS PTY LTD</div> <div>Suite 8 695 The Horsley Drive, Smithfield NSW 2164 ABN 44 609 593 473 P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623 NOM ARCH J LIGADU NSW ARB NO 8549</div>	<div>GENERAL NOTES</div> <div>1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK. 2. ANY DESCREPANCIESW ARE TO BE CONFIRMED BY THE DESIGNER. 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR. 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING. 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK. 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING. 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING. MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.</div>			<div>ISSUE</div>		<div>CLIENT</div>		<div>DRAWING NUMBER:</div> <div>DA-218</div> <div>DRAWING TITLE:</div> <div>DETAILED PLAN - ROOF</div> <div>SCALE</div> <div>1 : 150 @ A3</div>		<div>PROJECT</div> <div>RESIDENTIAL FLAT BUILDING DEVELOPMENT AT 28 & 30 MCKAY AVENUE MOOREBANK</div>	
	C	DA ISSUE	31/07/24	C	MCKAY MOOREBANK						
	B	DEP COUNCIL RFI'S RESPONSE	18/03/24								
<div>ISSUE</div> <div>AMENDMENTS</div> <div>DATE</div>											



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DESCREPANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C DA ISSUE 31/07/24
B DEP COUNCIL RFI'S RESPONSE 18/03/24

ISSUE AMENDMENTS DATE

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-221

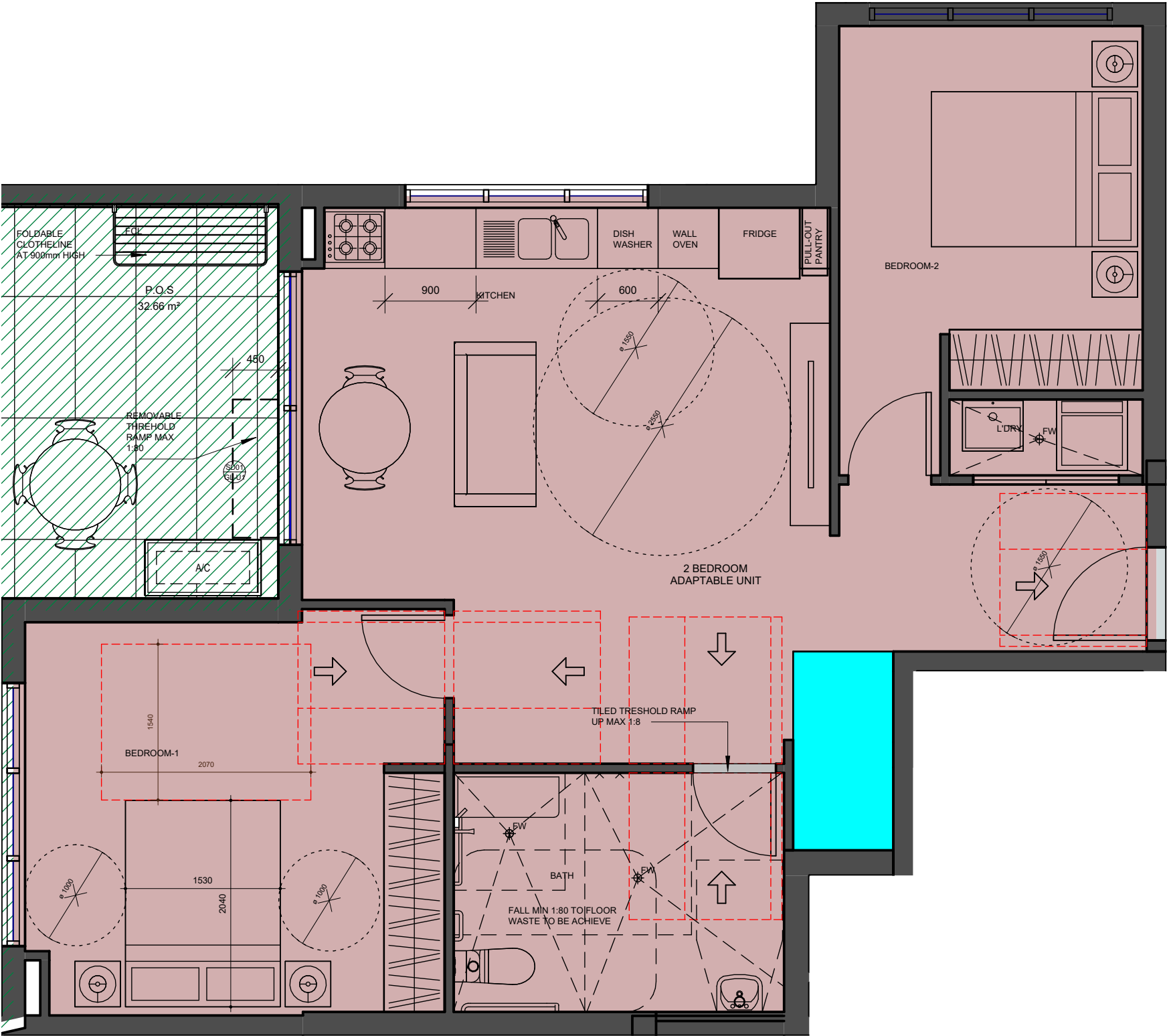
DRAWING TITLE:
ADAPTABLE UNIT TYPE A
PRE ADAPTION

SCALE

1 : 50 @ A3

PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C DA ISSUE 31/07/24
B DEP COUNCIL RFI'S RESPONSE 18/03/24

ISSUE AMENDMENTS DATE

ISSUE

C

CLIENT

**MCKAY
MOOREBANK**

DRAWING NUMBER:

DA-222

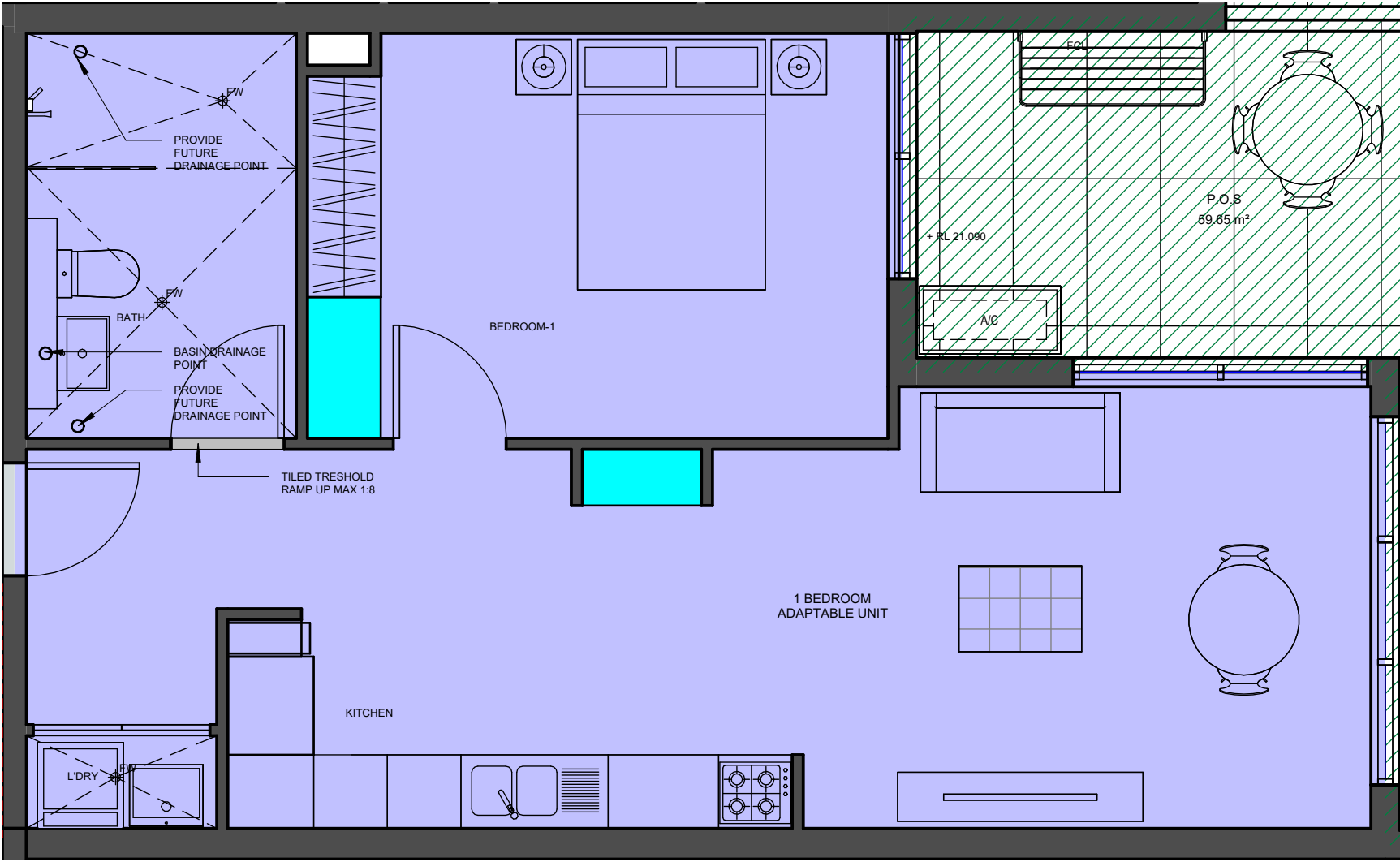
DRAWING TITLE:
**ADAPTABLE UNIT TYPE A
POST ADAPTION**

SCALE

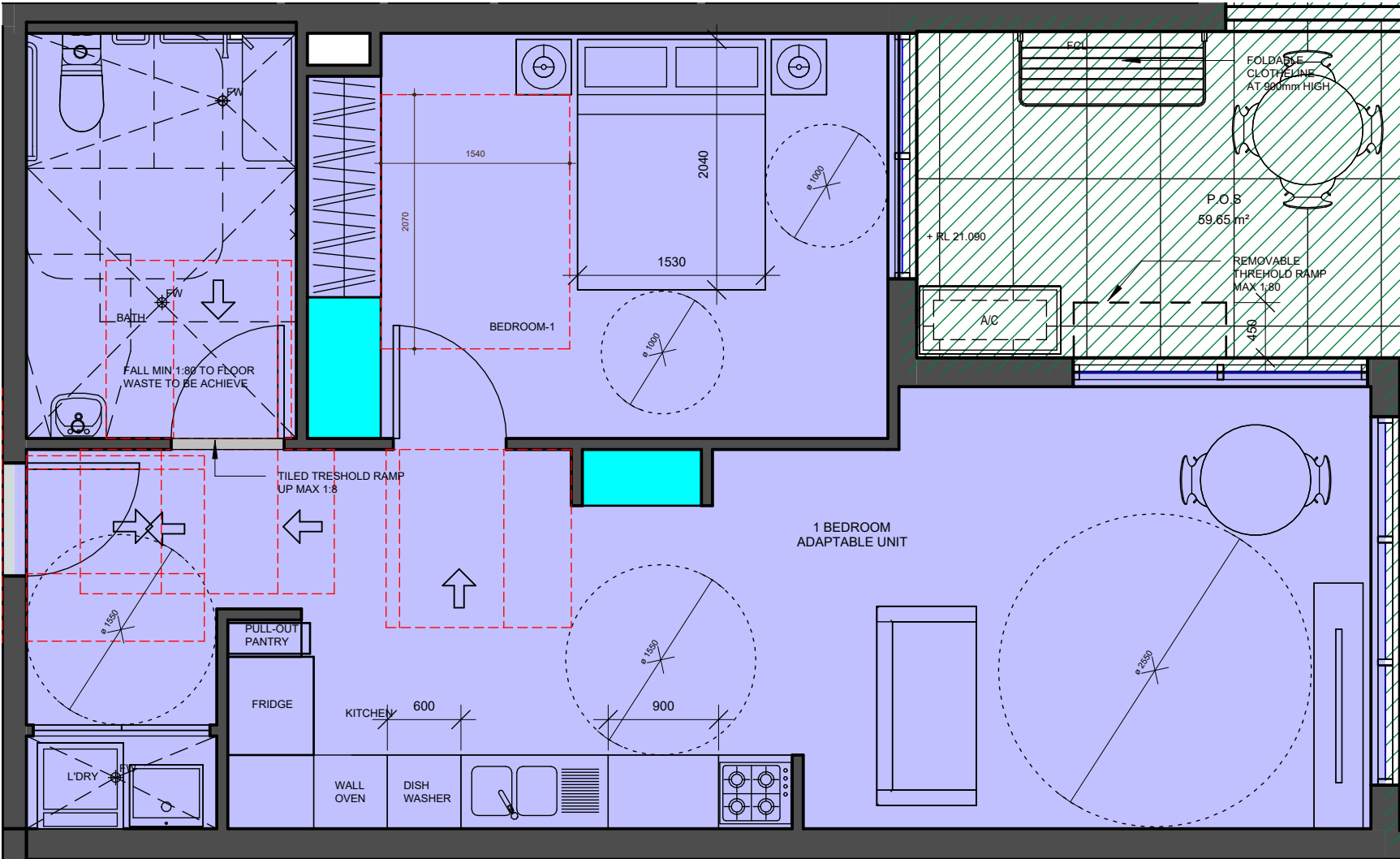
1 : 50 @ A3

PROJECT

**RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK**

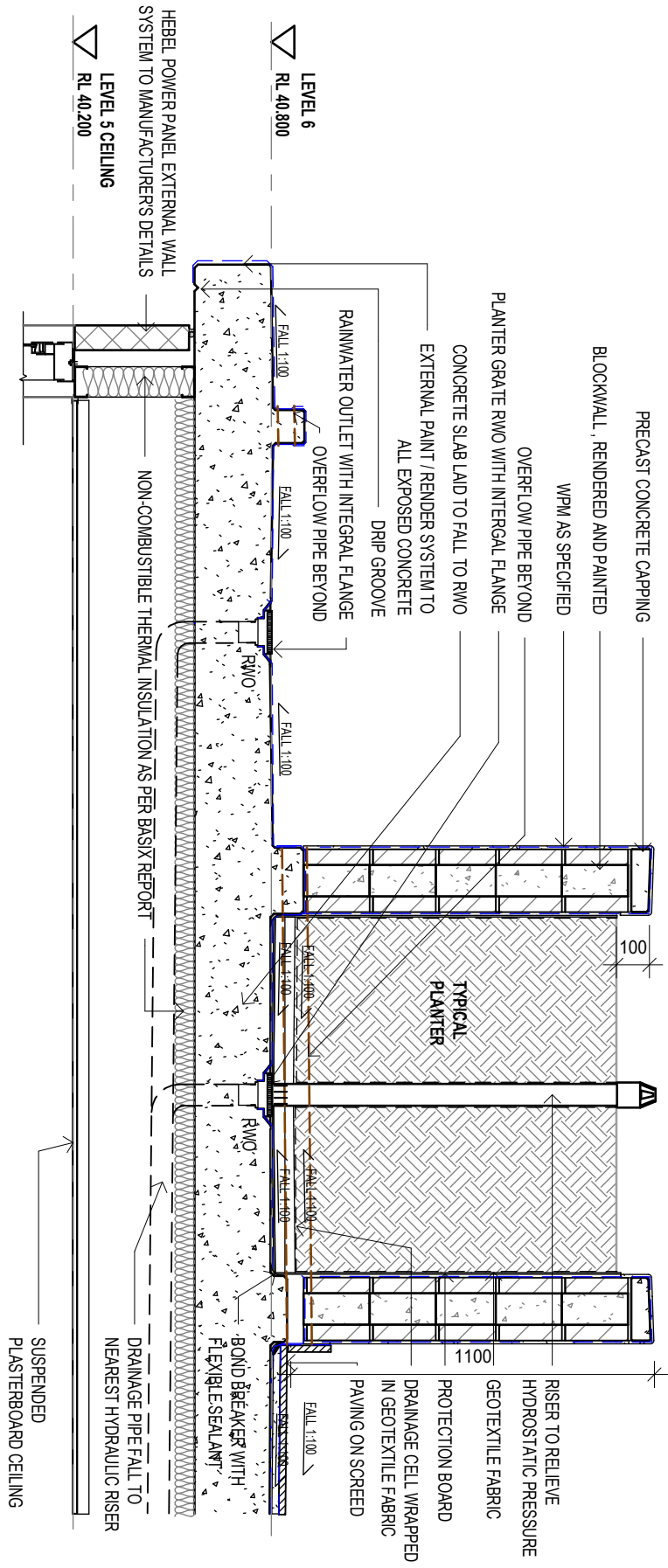


<div>MORFOSIS ARCHITECTS PTY LTD</div> <div>Suite 8 695 The Horsley Drive, Smithfield NSW 2164 ABN 44 609 593 473 P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623 NOM ARCH J LIGADU NSW ARB NO 8549</div>	<div>GENERAL NOTES</div> <div>1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK. 2. ANY DESCREPANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER. 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR. 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING. 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK. 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING. 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING. MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.</div>				ISSUE	CLIENT	DRAWING NUMBER: DA-223	PROJECT
	C	DA ISSUE	31/07/24	C	MCKAY MOOREBANK	DRAWING TITLE: ADAPTABLE UNIT TYPE B PRE ADAPTION	RESIDENTIAL FLAT BUILDING DEVELOPMENT AT 28 & 30 MCKAY AVENUE MOOREBANK	
	B	DEP COUNCIL RFI'S RESPONSE	18/03/24			SCALE 1 : 50 @ A3		
		ISSUE	AMENDMENTS	DATE				

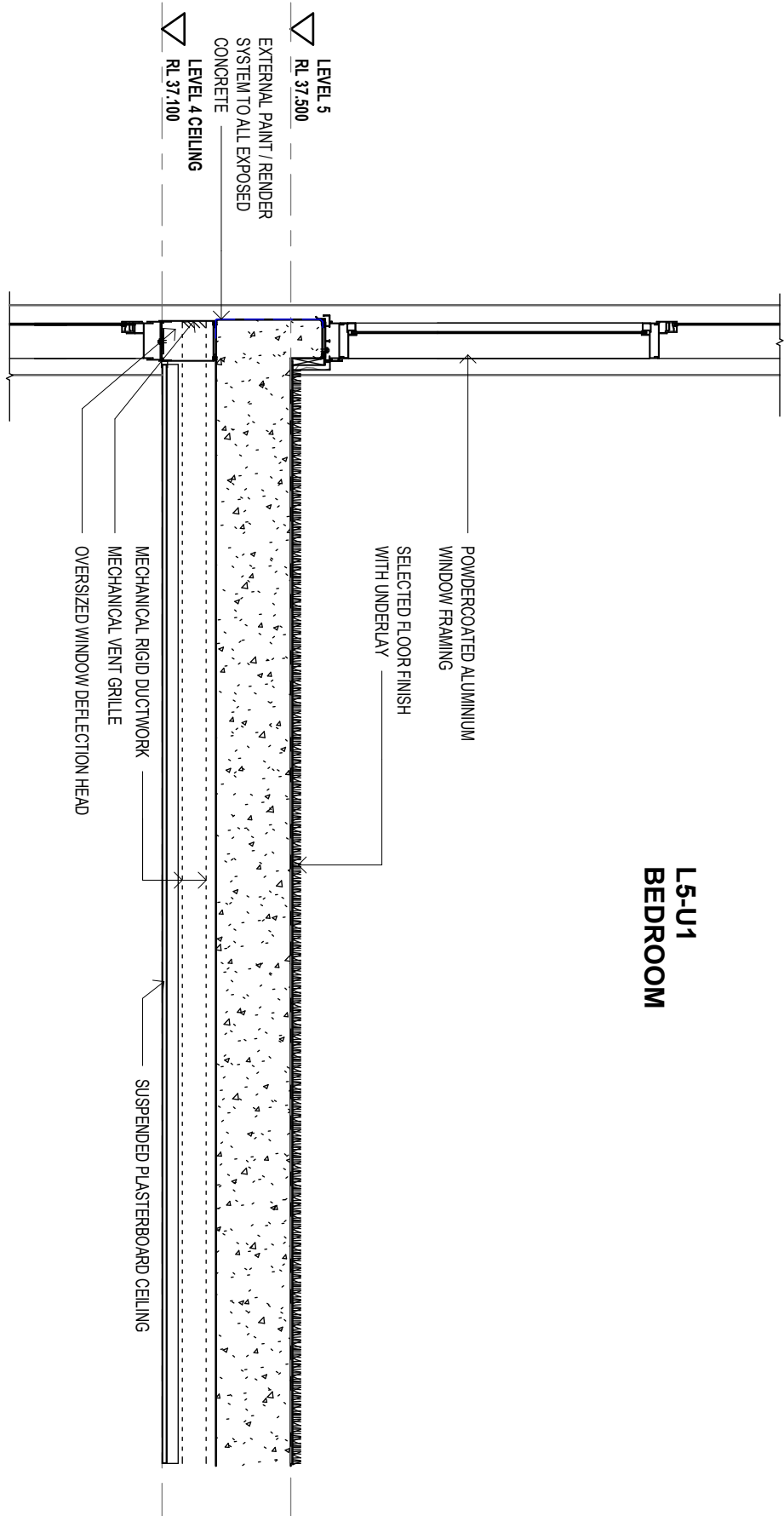


<div>MORFOSIS ARCHITECTS PTY LTD</div> <div>Suite 8 695 The Horsley Drive, Smithfield NSW 2164 ABN 44 609 593 473 P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623 NOM ARCH J LIGADU NSW ARB NO 8549</div>	<div>GENERAL NOTES</div> <div>1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK. 2. ANY DESCREANCIESW ARE TO BE CONFIRMED BY THE DESIGNER. 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR. 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING. 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK. 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING. 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING. MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.</div>				ISSUE	CLIENT	DRAWING NUMBER: DA-224	PROJECT
	C	DA ISSUE	31/07/24	C	MCKAY MOOREBANK	DRAWING TITLE: ADAPTABLE UNIT TYPE B POST ADAPTION	RESIDENTIAL FLAT BUILDING DEVELOPMENT AT 28 & 30 MCKAY AVENUE MOOREBANK	
	B	DEP COUNCIL RFI'S RESPONSE	18/03/24					
		ISSUE	AMENDMENTS	DATE				

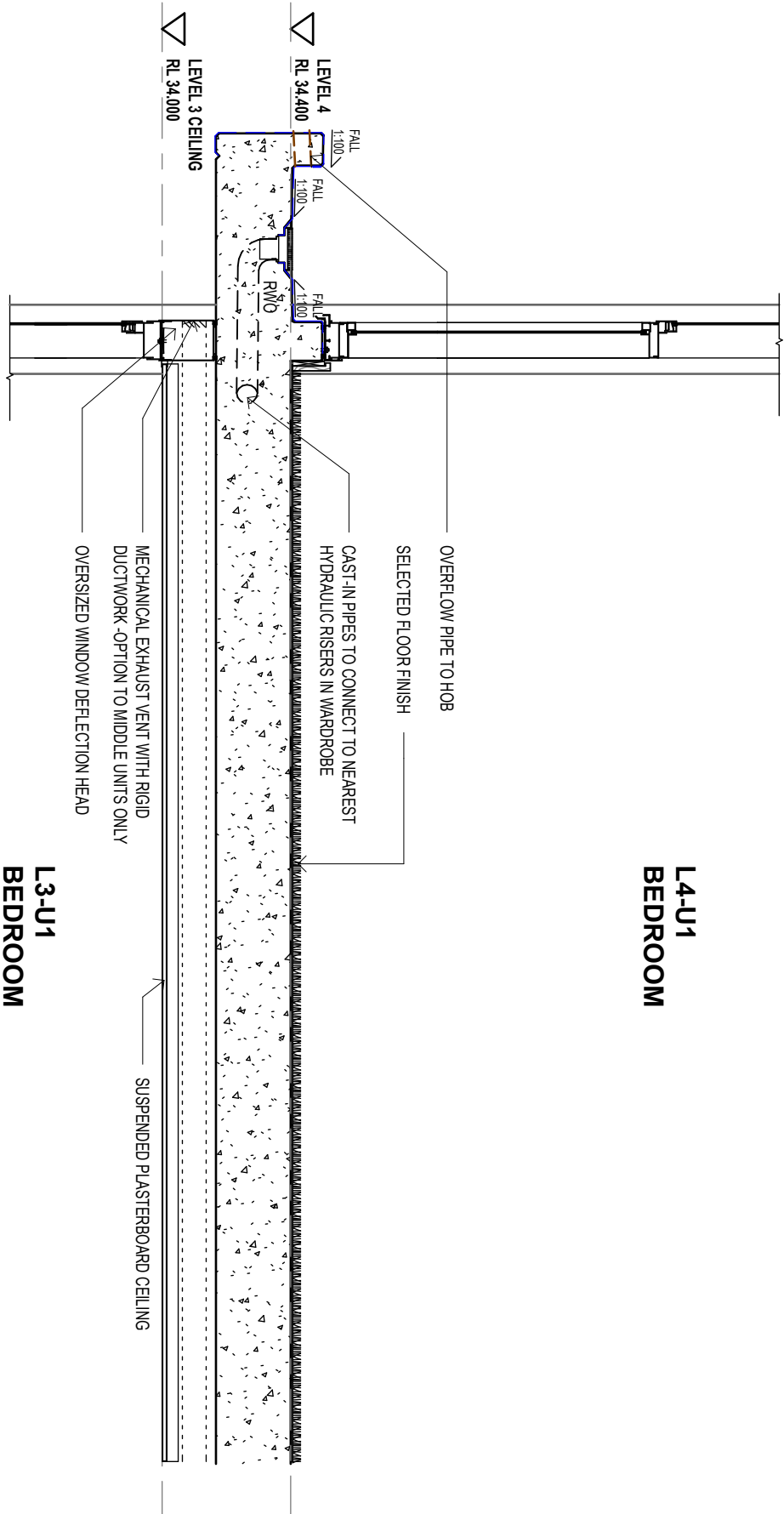
COMMUNAL OPEN SPACE



L5-U1
BEDROOM



L4-U1
BEDROOM



L3-U1
BEDROOM

- GENERAL NOTES**
1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

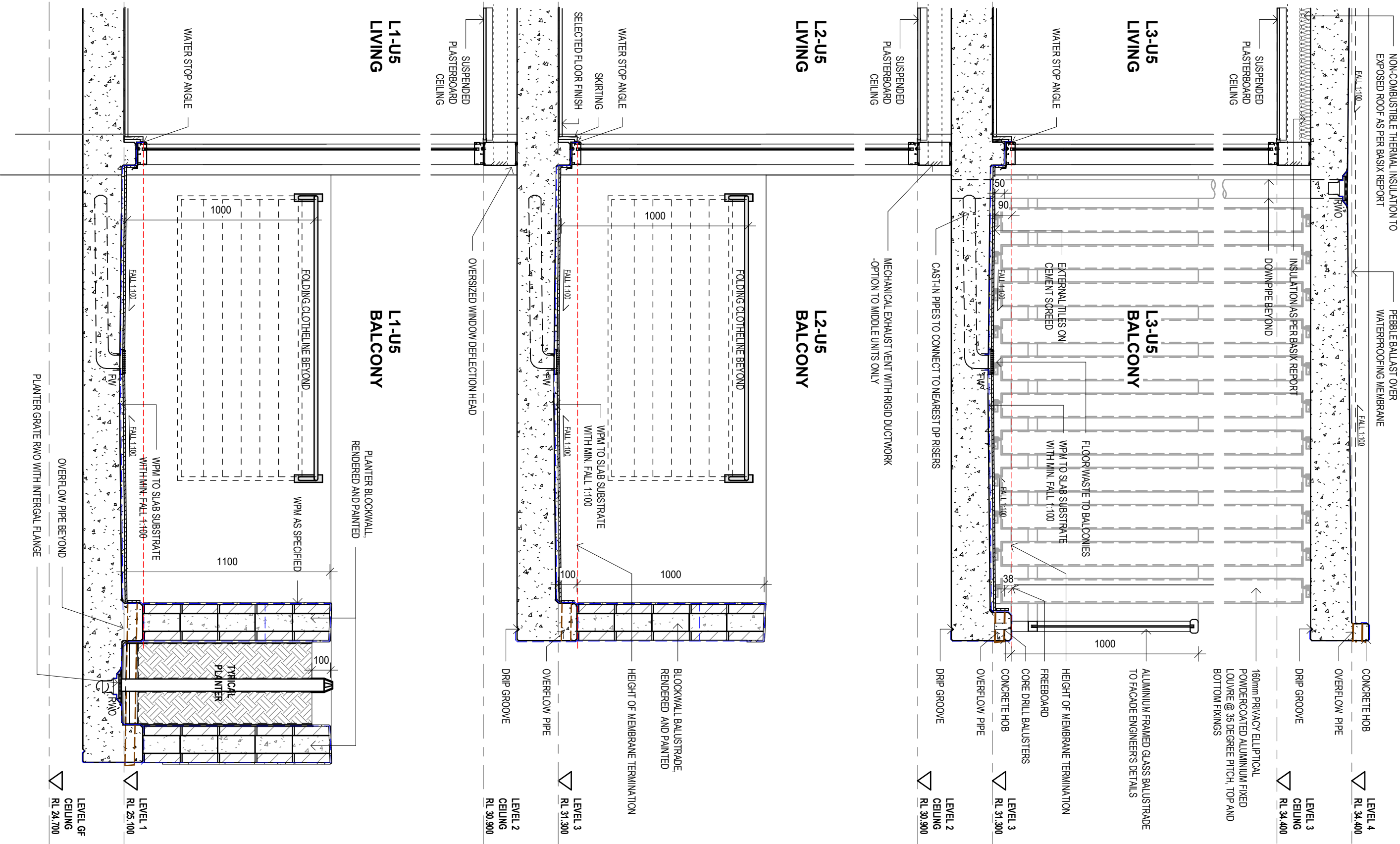
DRAWING NUMBER:
DA-230

DRAWING TITLE:
TYPICAL FACADE DETAIL 1
(ROOF)

SCALE
1 : 20 @ A3

PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.

MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
ISSUE	AMENDMENTS	DATE

ISSUE

C

CLIENT

**MCKAY
MOOREBANK**

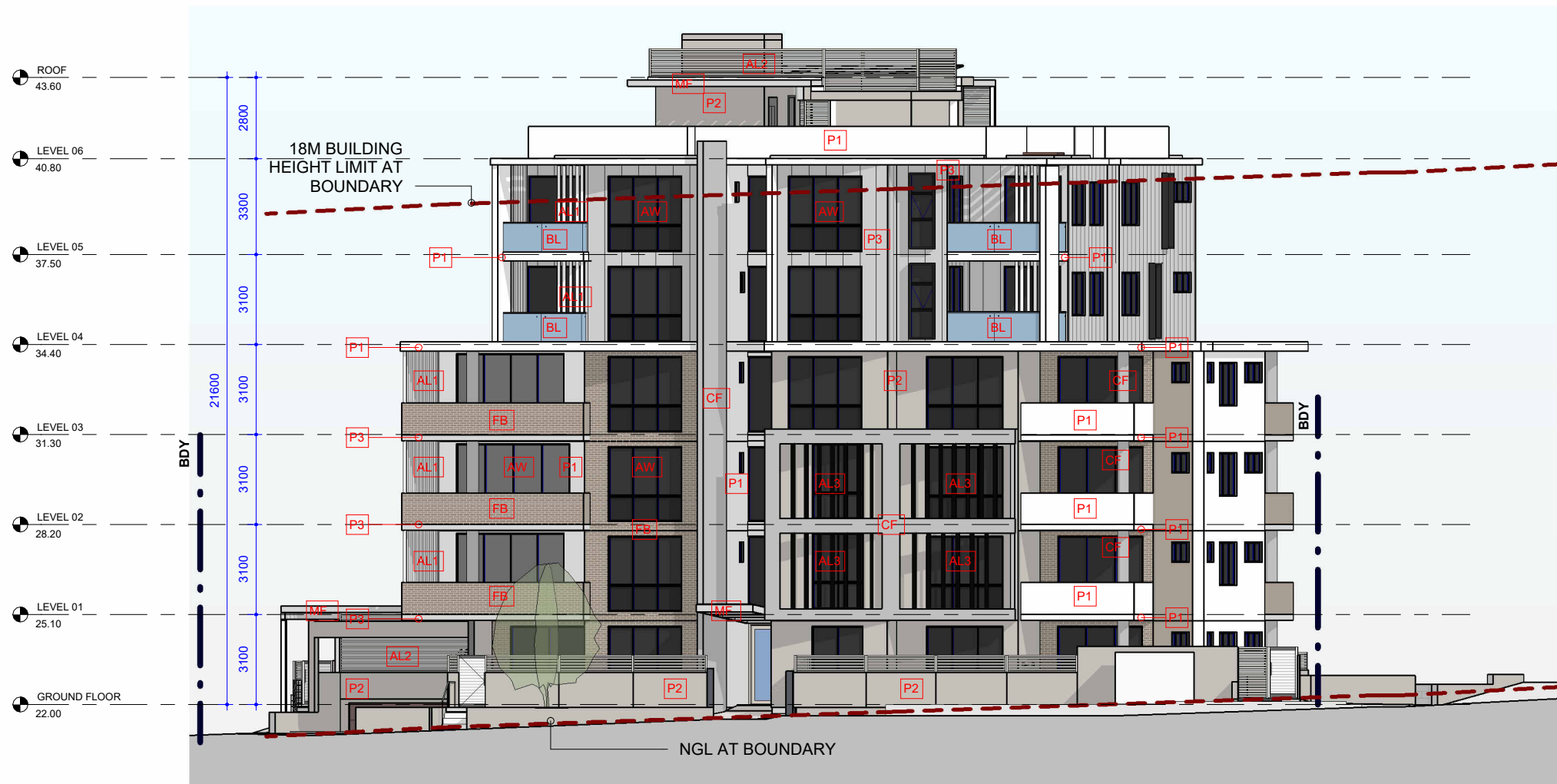
DRAWING NUMBER:
DA-231

DRAWING TITLE:
**TYPICAL FACADE DETAIL 2
(BALCONY)**

SCALE
1 : 20 @ A3

PROJECT

**RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK**



EXTERNAL FINISHES AND MATERIALS SCHEDULE

HEBEL WALL & PAINT COLOURS



P1 DULUX 'WHITE ON WHITE' SW1E2



P2 DULUX 'STEPNEY' SN4H4



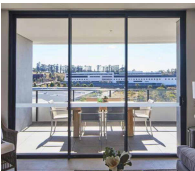
P3 DULUX 'TRANQUIL RETREAT' SN4G1

FACEBRICK



FB AUSTRAL BRICKS 'SCULPTURED SANDS GRANITE'

ALUMINIUM WINDOWS & DOOR



AW INTERPON D2525 'CHARCOAL SATIN' YP116A

FEATURE WALL



CF CONCRETE FINISH (GREY)

BALUSTRADES



BL ALUMINIUM FRAMED GLASS BALUSTRADE CLEAR. POWDERCOATED INTERPON D2525 'CHARCOAL SATIN' YP116A

PERGOLA STRUCTURE



MF METAL PAINT FINISH IN DULUX 'VIVID WHITE' GLOSS SW1G1

LOUVRES



AL1 VERTICAL ALUMINIUM LOUVRES. POWDERCOATED INTERPON D2525 'PEARL WHITE MATT' YA278A



AL2 HORIZONTAL ALUMINIUM LOUVRES. POWDERCOATED INTERPON D2525 'CHARCOAL SATIN' YP116A

AL3 POWDERCOATED INTERPON D2525 'CHARCOAL SATIN' YP116A

PRIVACY FENCE 1.8M HIGH TO COURTYARDS



0.8M HIGH HORIZONTAL ALUMINIUM LOUVRES (ADJUSTABLE) AND DOOR POWDERCOATE IN INTERPON D2525 'CHARCOAL SATIN' YP116A.

WALL RENDER BASE PAINT IN DULUX 'STEPNEY' SN4H4

1 SOUTH ELEVATION (MCKAY AVE)
DA-300 1 : 200

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

- ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
- LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
- STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
- ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-300

DRAWING TITLE:
FRONT ELEVATION-S &
EXTERNAL FINISHES
SCHEDULE
SCALE

As indicated @ A3

PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



1 NORTH ELEVATION
DA-301 1 : 200

MORFOSIS ARCHITECTS PTY LTD
Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES
1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
ISSUE	AMENDMENTS	DATE

ISSUE
C

CLIENT
**MCKAY
MOOREBANK**

DRAWING NUMBER:
DA-301
DRAWING TITLE:
REAR ELEVATION -N
SCALE
1 : 200 @ A3

PROJECT
**RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK**



1 : 200

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3.
8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.

MORFOS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

ISSUE

C

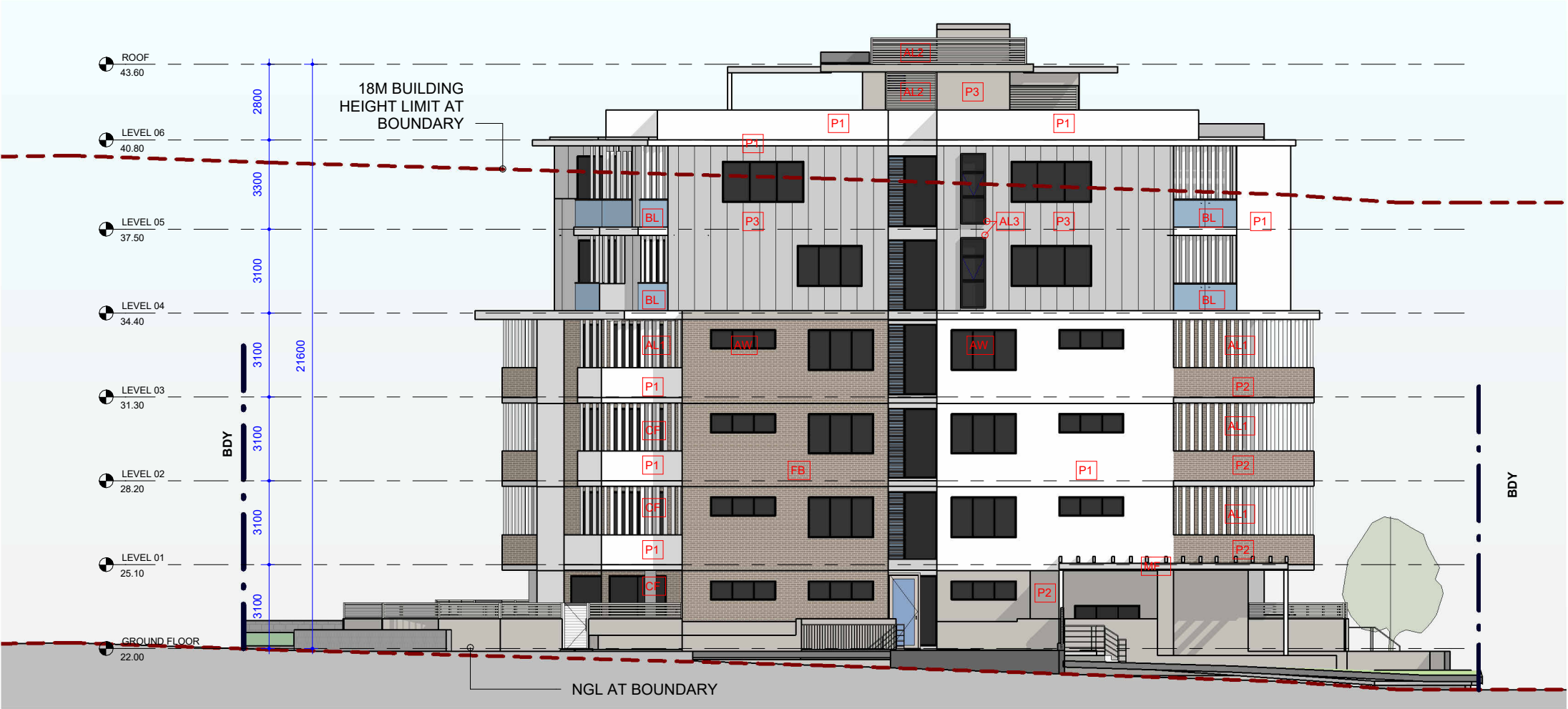
C

DRAWING NUMBER:
DA-302

DRAWING TITLE:
SIDE ELEVATION -E

PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



MORFOSIS ARCHITECTS PTY LTD
Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES
1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
2. ANY DESCREPANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.
MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
ISSUE	AMENDMENTS	DATE

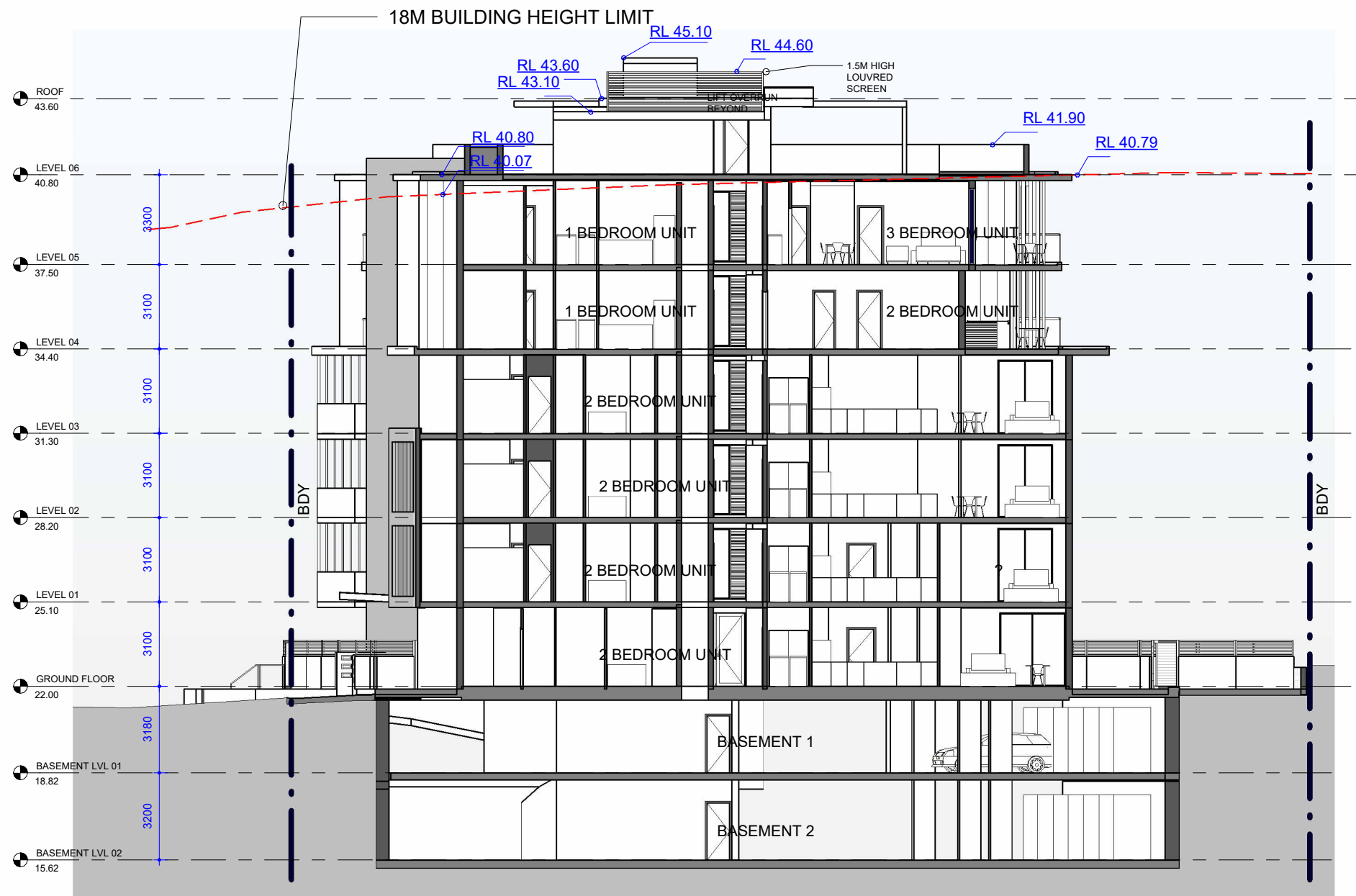
ISSUE
C

CLIENT
**MCKAY
MOOREBANK**

DRAWING NUMBER:
DA-303
DRAWING TITLE:
SIDE ELEVATION -W

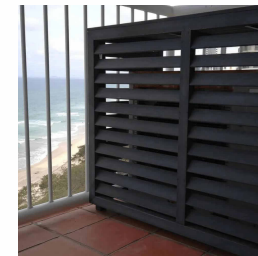
SCALE
1 : 200 @ A3

PROJECT
**RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK**

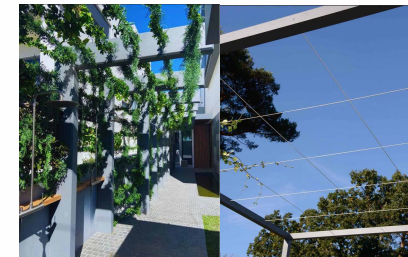


TYPICAL DETAILS

PRE-FABRICATED 1M HIGH BOXED A/C SCREENING TO BALCONIES/ COURTYARDS



PERGOLA WITH WIRE GRID ROOF



VERTICAL CABLE TENSIONED WIRE IN BETWEEN STEEL COLUMNS WITH IN SITU CONCRETE FINISH PLANTERS

PAINTED STRUCTURAL STEEL FRAMING PERGOLA OVER WITH INFILL WIRE GRID ROOF TO MANUFACTURER'S DETAILS

1 Section 1
DA-350 1 : 200

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-350

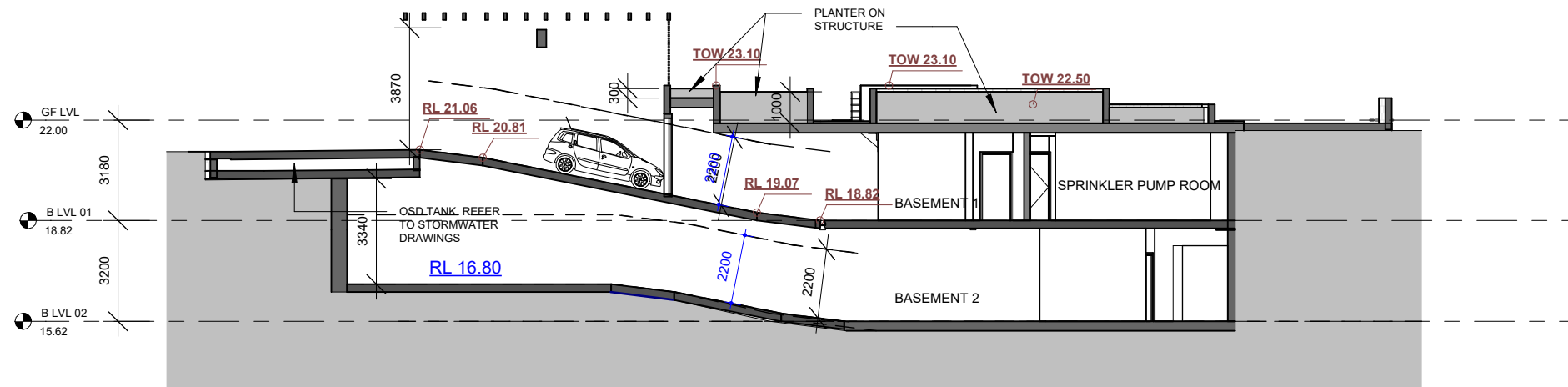
DRAWING TITLE:
SECTIONS

SCALE

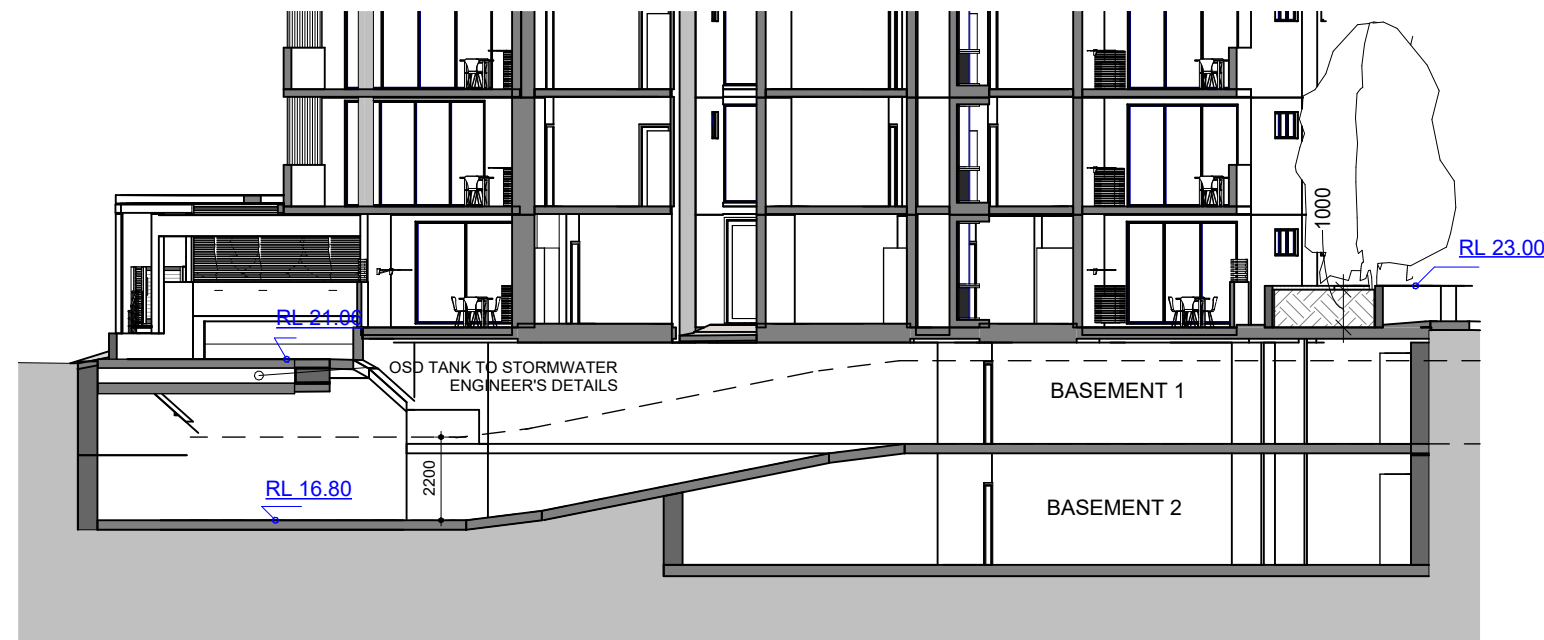
As indicated @ A3

PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



1 Ramp Section 1
DA-352 1 : 200



2 Ramp Section 2
DA-352 1 : 200

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
2. ANY DESCREPANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.

MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-352

DRAWING TITLE:

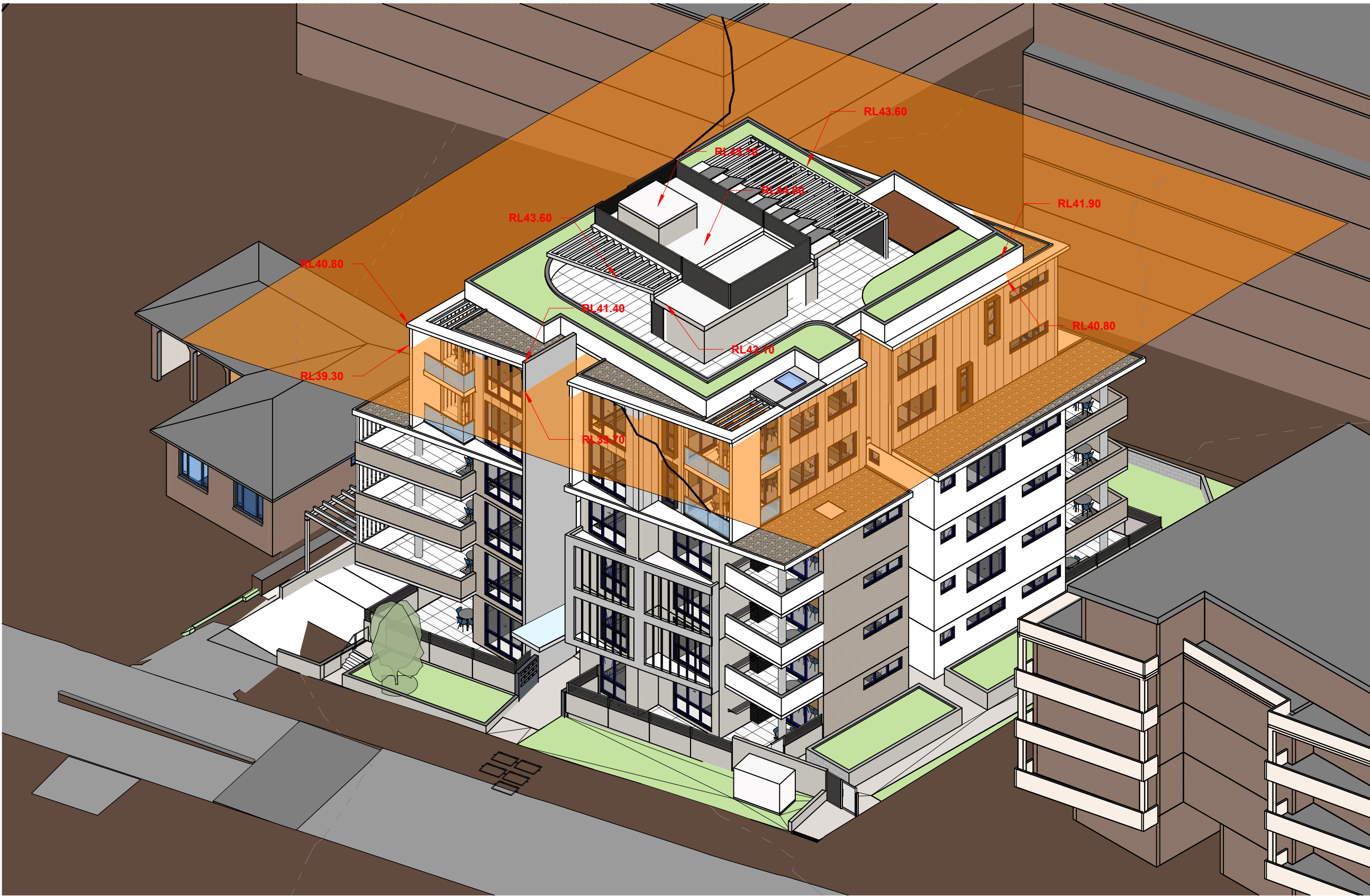
RAMP SECTIONS

SCALE

1 : 200 @ A3

PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

**MCKAY
MOOREBANK**

DRAWING NUMBER:

DA-400

DRAWING TITLE:

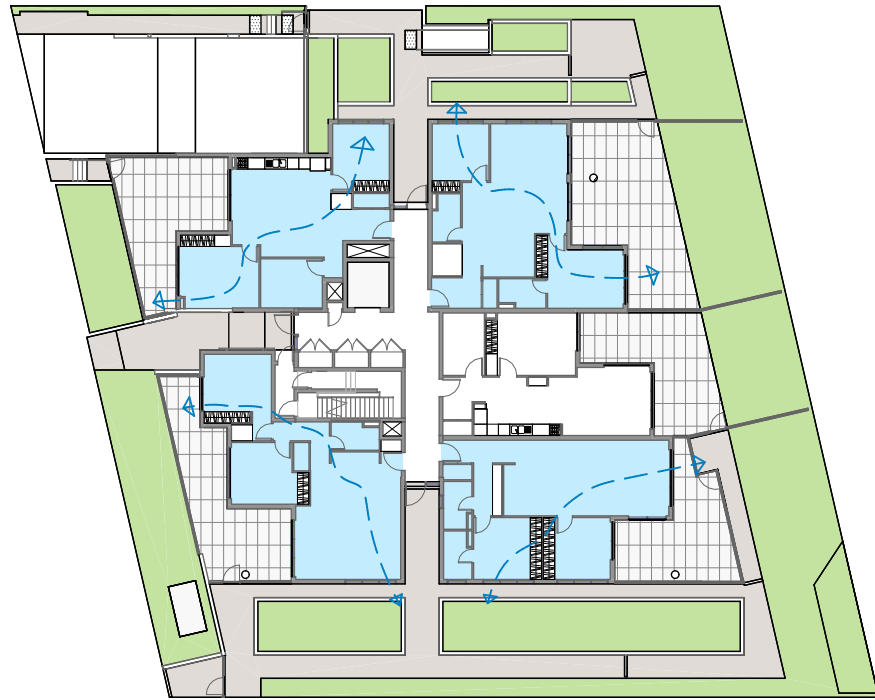
BUILDING HEIGHT PLANE 3D

SCALE

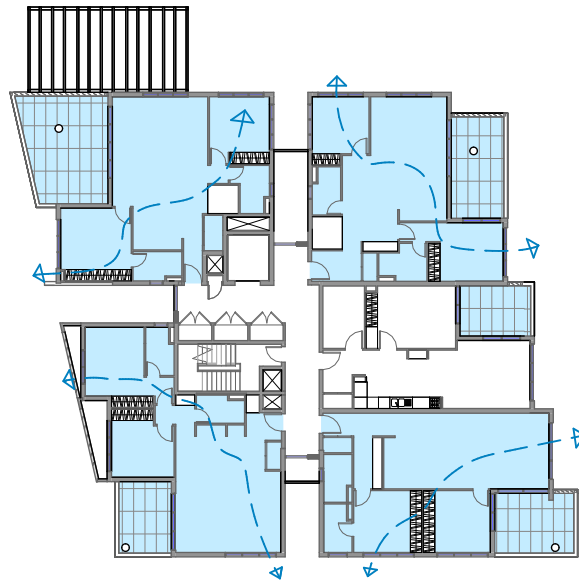
@ A3

PROJECT

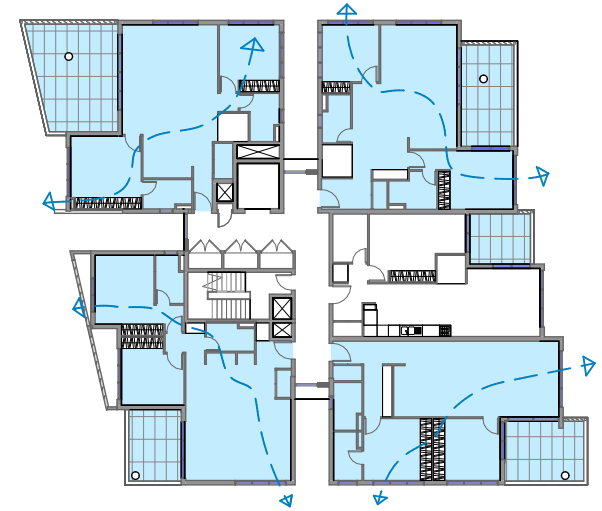
**RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK**



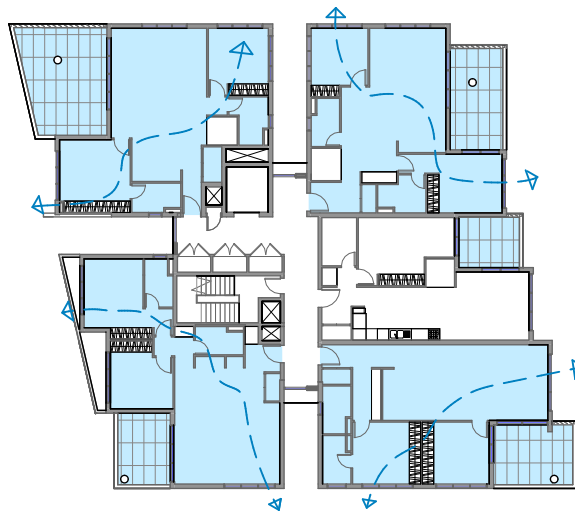
1 GF LVL VENTILATION STUDY
DA-401 1 : 400



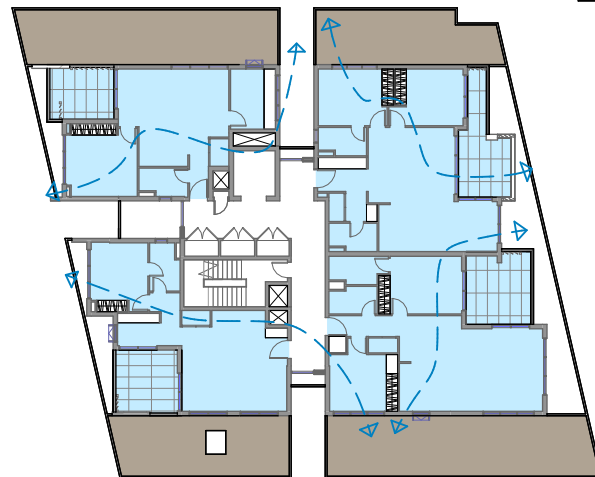
2 LVL-01 VENTILATION STUDY
DA-401 1 : 400



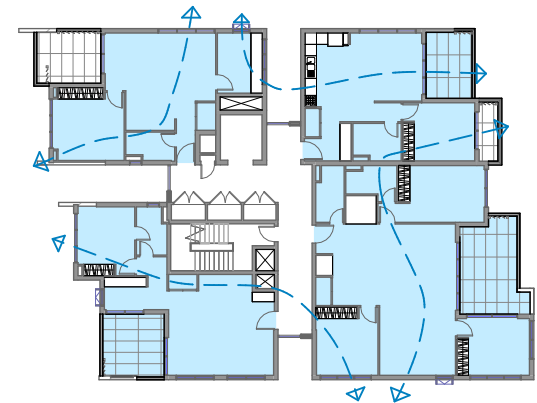
3 LVL-02 VENTILATION STUDY
DA-401 1 : 400





4 LVL-03 VENTILATION STUDY
DA-401 1 : 400



5 LVL-04 VENTILATION STUDY
DA-401 1 : 400



6 LVL-05 VENTILATION STUDY
DA-401 1 : 400

 CROSS VENTILATED UNITS
24 UNITS / 28 :85.71%
 NONE CROSS VENTILATED UNITS
4 UNITS / 28 = 14.28%

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DISCREPANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

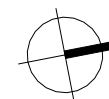
DA-401

DRAWING TITLE:

VENTILATION STUDY

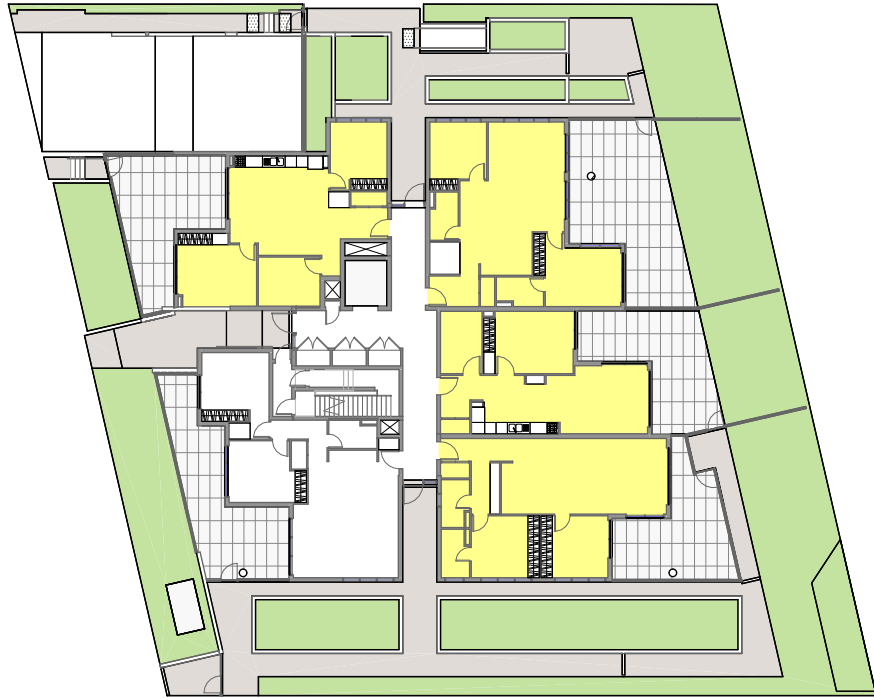
SCALE

As indicated @ A3

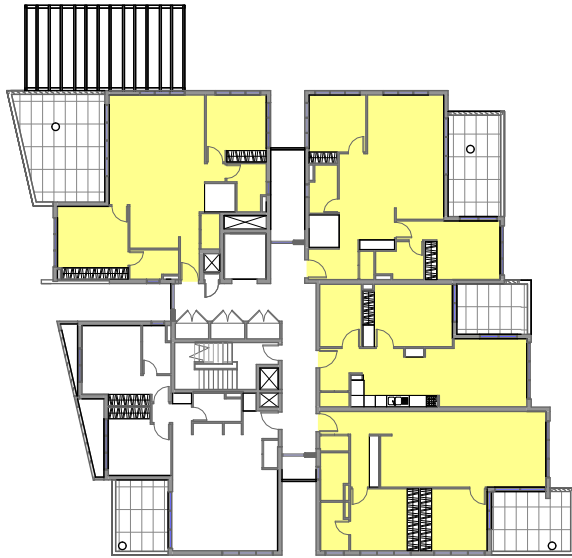


PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



1 GF LVL SOLAR STUDY
DA-402 1 : 400



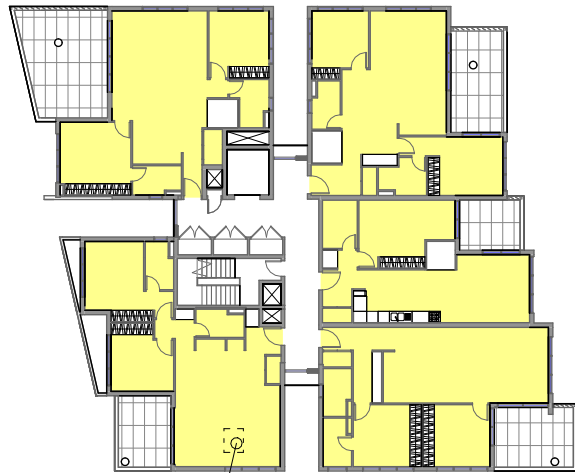
2 LVL-01 SOLAR STUDY
DA-402 1 : 400



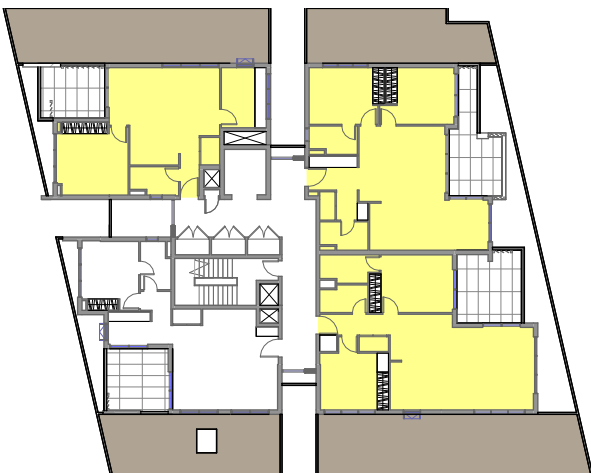
3 LVL-02 SOLAR STUDY
DA-402 1 : 400

2 HOURS OF SOLAR ACCESS
UNITS WITH (2) TWO HOURS OF SOLAR ACCESS AT 21 JUNE : 24/ 28 :85.71%

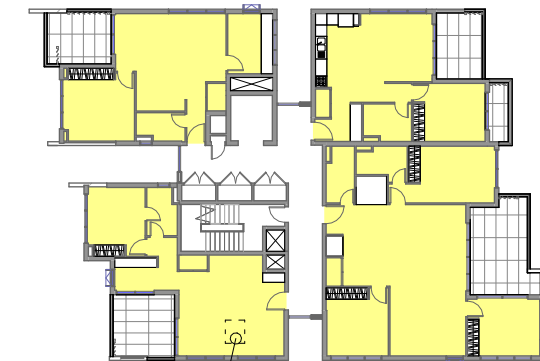
UNITS RECEIVING NO OF SOLAR ACCESS
UNITS WITH (0) TWO HOURS OF SOLAR ACCESS AT 21 JUNE : 4/ 28 :14.28%



4 LVL-03 SOLAR STUDY
DA-402 1 : 400



5 LVL-04 SOLAR STUDY
DA-402 1 : 400



6 LVL-05 SOLAR STUDY
DA-402 1 : 400

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

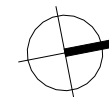
MCKAY
MOOREBANK

DRAWING NUMBER:

DA-402
DRAWING TITLE:
SOLAR STUDY

SCALE

As indicated @ A3



PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK

STORAGE CALCULATION			
Mark	VOLUME	Level	Comments

GL-U1	4.90 m³	B LVL 01	EXTERNAL STORAGE
GL-U1	1.48 m³	GF LVL	INTERNAL STORAGE
GL-U1	2.66 m³	GF LVL	INTERNAL STORAGE
	9.03 m³		
GL-U2	4.90 m³	B LVL 01	EXTERNAL STORAGE
GL-U2	1.94 m³	GF LVL	INTERNAL STORAGE
GL-U2	2.73 m³	GF LVL	INTERNAL STORAGE
	9.57 m³		
GL-U3	3.93 m³	GF LVL	INTERNAL STORAGE
GL-U3	4.90 m³	B LVL 01	EXTERNAL STORAGE
	8.83 m³		
GL-U4	8.57 m³	B LVL 01	EXTERNAL STORAGE
GL-U4	1.29 m³	GF LVL	INTERNAL STORAGE
	9.86 m³		
GL-U5	7.90 m³	GF LVL	INTERNAL STORAGE
GL-U5	4.90 m³	B LVL 01	EXTERNAL STORAGE
	12.79 m³		
L1-U1	4.61 m³	B LVL 01	EXTERNAL STORAGE
L1-U1	7.07 m³	LVL 01	INTERNAL STORAGE
	11.68 m³		
L1-U2	8.06 m³	B LVL 01	EXTERNAL STORAGE
L1-U2	1.61 m³	LVL 01	INTERNAL STORAGE
L1-U2	1.90 m³	LVL 01	INTERNAL STORAGE
	11.58 m³		
L1-U3	3.93 m³	LVL 01	INTERNAL STORAGE
L1-U3	8.57 m³	B LVL 01	EXTERNAL STORAGE
	12.50 m³		
L1-U4	1.29 m³	LVL 01	INTERNAL STORAGE
L1-U4	8.57 m³	B LVL 01	EXTERNAL STORAGE
L1-U4	2.00 m³	LVL 01	INTERNAL STORAGE
	11.86 m³		
L1-U5	7.90 m³	LVL 01	INTERNAL STORAGE
L1-U5	9.58 m³	B LVL 01	EXTERNAL STORAGE
L1-U5	2.72 m³	LVL 01	INTERNAL STORAGE
	20.19 m³		
L2-U1	7.07 m³	LVL 02	INTERNAL STORAGE
L2-U1	4.61 m³	B LVL 01	EXTERNAL STORAGE
	11.68 m³		
L2-U2	5.78 m³	B LVL 02	EXTERNAL STORAGE
L2-U2	1.61 m³	LVL 02	INTERNAL STORAGE
L2-U2	1.90 m³	LVL 02	INTERNAL STORAGE
	9.29 m³		
L2-U3	3.93 m³	LVL 02	INTERNAL STORAGE
L2-U3	8.06 m³	B LVL 02	EXTERNAL STORAGE
	11.99 m³		
L2-U4	8.57 m³	B LVL 02	EXTERNAL STORAGE
L2-U4	6.62 m³	LVL 02	INTERNAL STORAGE
L2-U4	2.22 m³	LVL 02	INTERNAL STORAGE

STORAGE CALCULATION			
Mark	VOLUME	Level	Comments

	17.41 m³		
L2-U5	7.90 m³	LVL 02	INTERNAL STORAGE
L2-U5	8.57 m³	B LVL 02	EXTERNAL STORAGE
L2-U5	2.73 m³	LVL 02	INTERNAL STORAGE
	19.19 m³		
L3-U1	7.07 m³	LVL 03	INTERNAL STORAGE
L3-U1	8.06 m³	B LVL 02	EXTERNAL STORAGE
	15.13 m³		
L3-U2	8.57 m³	B LVL 02	EXTERNAL STORAGE
L3-U2	1.61 m³	LVL 03	INTERNAL STORAGE
L3-U2	1.90 m³	LVL 03	INTERNAL STORAGE
	12.08 m³		
L3-U3	3.93 m³	LVL 03	INTERNAL STORAGE
L3-U3	8.57 m³	B LVL 02	EXTERNAL STORAGE
	12.50 m³		
L3-U4	6.62 m³	LVL 03	INTERNAL STORAGE
L3-U4	8.06 m³	B LVL 02	EXTERNAL STORAGE
L3-U4	2.22 m³	LVL 03	INTERNAL STORAGE
	16.90 m³		
L3-U5	7.90 m³	LVL 03	INTERNAL STORAGE
L3-U5	5.18 m³	B LVL 02	EXTERNAL STORAGE
L3-U5	3.11 m³	LVL 03	INTERNAL STORAGE
	16.19 m³		
L4-U1	5.53 m³	LVL 04	INTERNAL STORAGE
L4-U1	4.61 m³	B LVL 02	EXTERNAL STORAGE
	10.14 m³		
L4-U2	3.22 m³	LVL 04	INTERNAL STORAGE
L4-U2	4.90 m³	B LVL 02	EXTERNAL STORAGE
L4-U2	1.69 m³	LVL 04	INTERNAL STORAGE
L4-U2	1.46 m³	LVL 04	INTERNAL STORAGE
	11.27 m³		
L4-U3	2.29 m³	LVL 04	INTERNAL STORAGE
L4-U3	4.90 m³	B LVL 02	EXTERNAL STORAGE
L4-U3	1.74 m³	LVL 04	INTERNAL STORAGE
	8.93 m³		
L4-U4	4.44 m³	LVL 04	INTERNAL STORAGE
L4-U4	4.90 m³	B LVL 02	EXTERNAL STORAGE
	9.33 m³		
L5-U1	4.90 m³	B LVL 02	EXTERNAL STORAGE
L5-U1	5.53 m³	LVL 05	INTERNAL STORAGE
	10.43 m³		
L5-U2	3.22 m³	LVL 05	INTERNAL STORAGE
	3.22 m³		
L5-U3	2.75 m³	LVL 05	INTERNAL STORAGE
L5-U3	7.04 m³	LVL 05	INTERNAL STORAGE
	9.79 m³		
L5-U4	3.45 m³	LVL 05	INTERNAL STORAGE
L5-U4	4.61 m³	B LVL 02	EXTERNAL STORAGE
	8.06 m³		

STORAGE REQUIREMENTS:

1 BED - 6m³ 2 BED - 8m³ 3 BED - 10m³

ALL UNITS ACHIEVED MINIMUM STORAGE REQUIREMENTS

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. LOCATIONS TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-403

DRAWING TITLE:
STORAGE CALCULATIONS

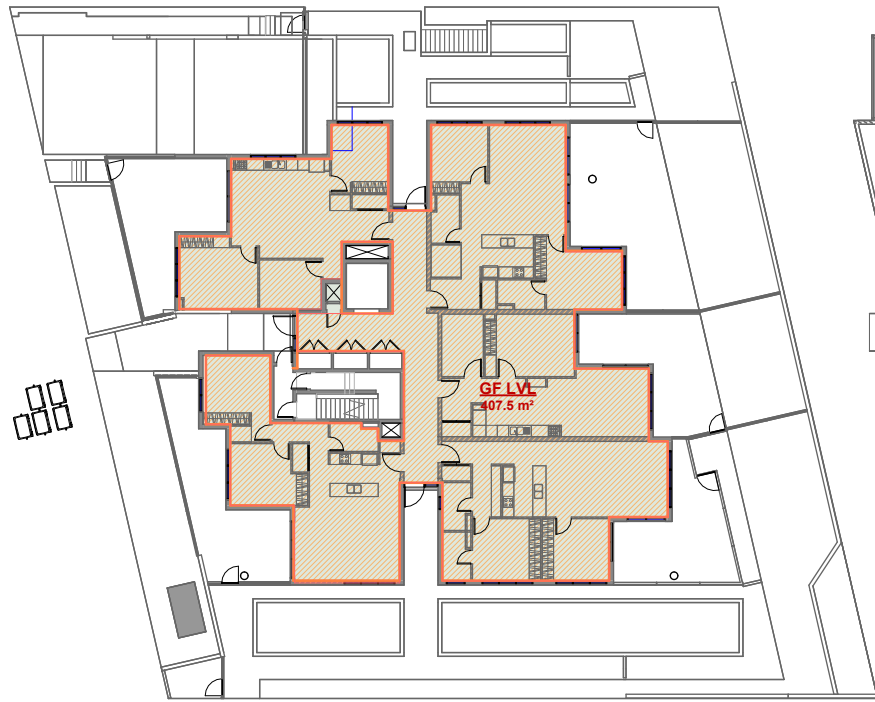
SCALE

@ A3

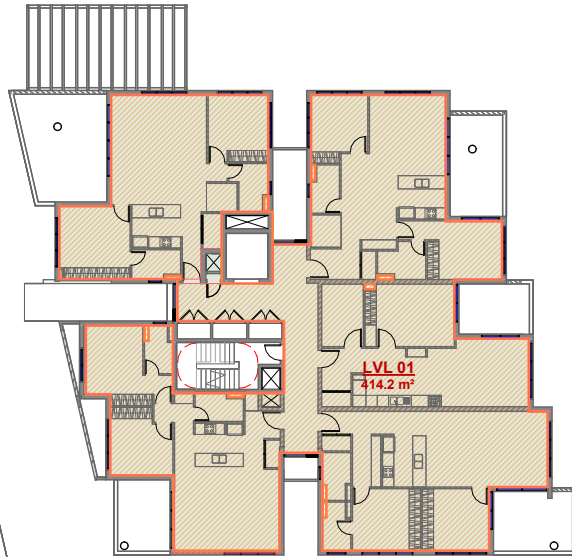


PROJECT

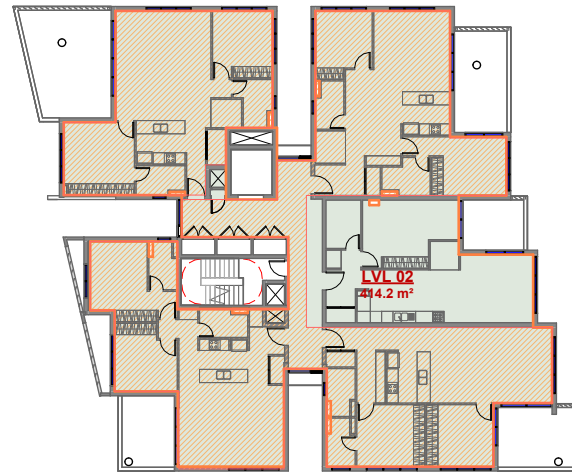
RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



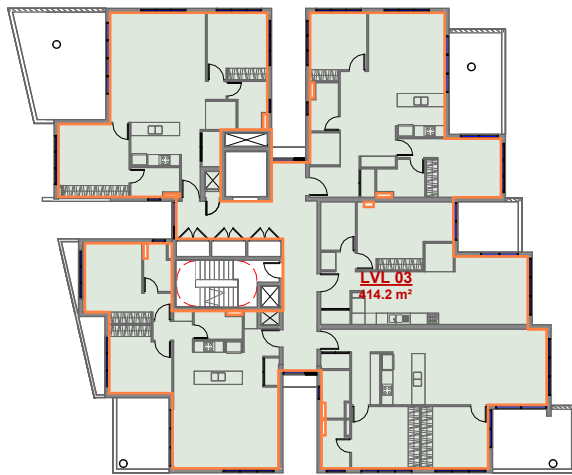
1 GROUND FLOOR
1 : 400



2 LEVEL 01
1 : 400



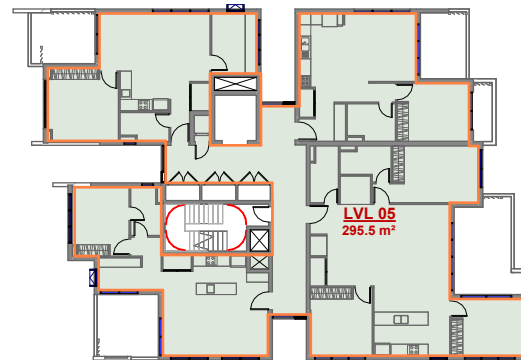
3 LEVEL 02
1 : 400



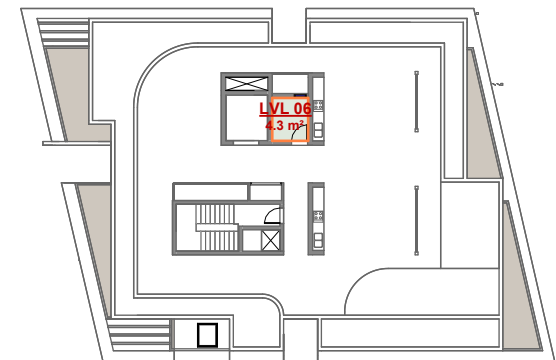
4 LEVEL 03
1 : 400



5 LEVEL 04
1 : 400



6 LEVEL 05
1 : 400



7 LEVEL 06
1 : 400

GROSS FLOOR AREAS

NAME	LEVEL	AREA	AFFORDABLE HOUSING AREA
GF LVL	GROUND FLOOR	407.5 m ²	(407.5 m ²)
LVL 01	LEVEL 01	414.2 m ²	(414.2 m ²)
LVL 02	LEVEL 02	414.2 m ²	(342.7 m ²)
LVL 03	LEVEL 03	414.2 m ²	
LVL 04	LEVEL 04	296.8 m ²	
LVL 05	LEVEL 05	295.5 m ²	
LVL 06	LEVEL 06	4.3 m ²	
Grand total: 7		2246.6 m ²	(1164.4 m ²)

AFFORDABLE UNITS SCHEDULE

Unit	Name	Area	Comments
GL-U1	2 BEDROOM ADAPTABLE UNIT	71.3 m ²	AFFORDABLE
GL-U2	2 BEDROOM UNIT	72.5 m ²	AFFORDABLE
GL-U3	2 BEDROOM UNIT	77.2 m ²	AFFORDABLE
GL-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m ²	AFFORDABLE
GL-U5	2 BEDROOM UNIT	78.2 m ²	AFFORDABLE
L1-U1	2 BEDROOM UNIT	80.2 m ²	AFFORDABLE
L1-U2	2 BEDROOM UNIT	76.4 m ²	AFFORDABLE
L1-U3	2 BEDROOM UNIT	77.2 m ²	AFFORDABLE
L1-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m ²	AFFORDABLE
L1-U5	2 BEDROOM UNIT	78.2 m ²	AFFORDABLE
L2-U1	2 BEDROOM UNIT	80.2 m ²	AFFORDABLE
L2-U2	2 BEDROOM UNIT	76.4 m ²	AFFORDABLE
L2-U3	2 BEDROOM UNIT	77.2 m ²	AFFORDABLE
L2-U5	2 BEDROOM UNIT	78.2 m ²	AFFORDABLE
L3-U4	1 BEDROOM UNIT	59.7 m ²	AFFORDABLE
15		1101.9 m ²	

AFFORDABLE HOUSING AREA REQUIRED (AFH SEPP 2021)
50% OF TOTAL GFA = 1116.8 SQM

 AFFORDABLE HOUSING AREA PROVIDED (AFH SEPP 2021) : 1164.4 SQM

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

- ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
- LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
- STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
- ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

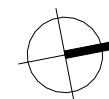
DRAWING NUMBER:

DA-404

DRAWING TITLE:
GROSS FLOOR AREA
CALCULATIONS

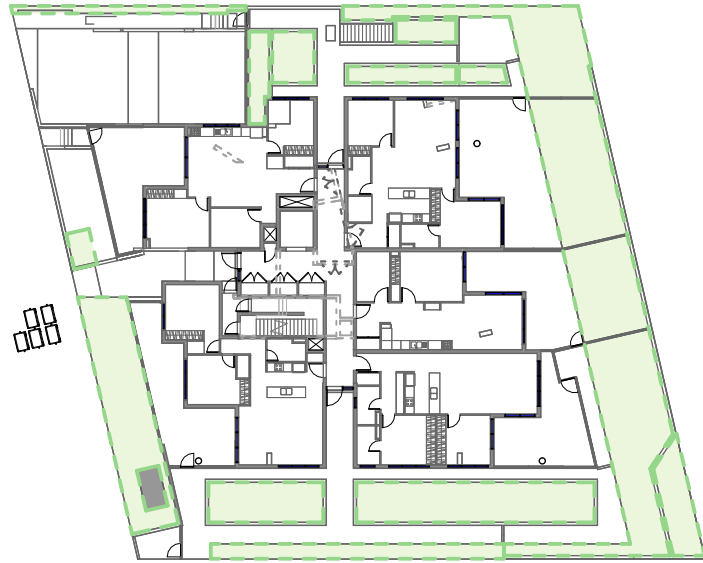
SCALE

As indicated @ A3



PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



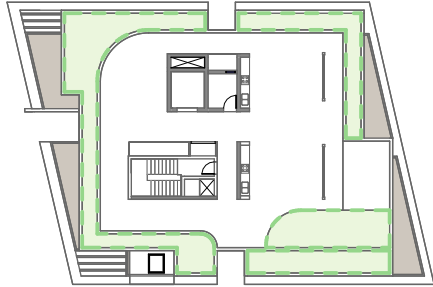
LANDSCAPE AREA = 351 m²

1

DA-405

LANDSCAPING CALCULATION GF

1 : 500



LANDSCAPE AREA = 92 m²

2

DA-405

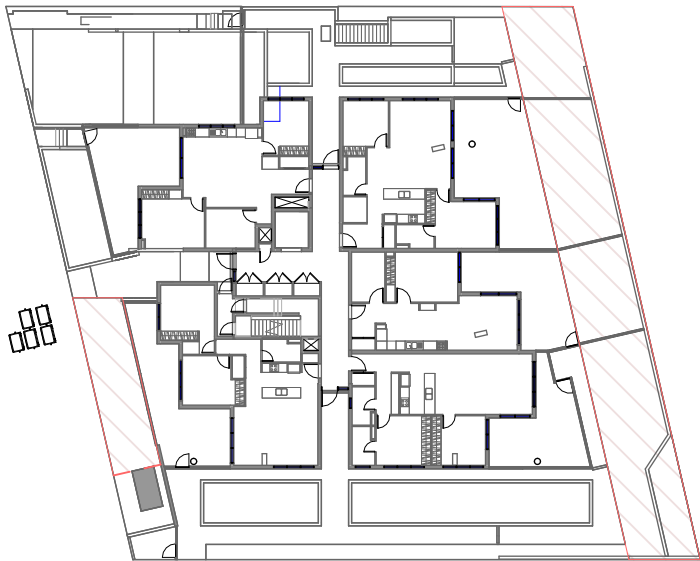
LANDSCAPING CALCULATION L6

1 : 500

TOTAL SOFT LANDSCAPE: 443 m²

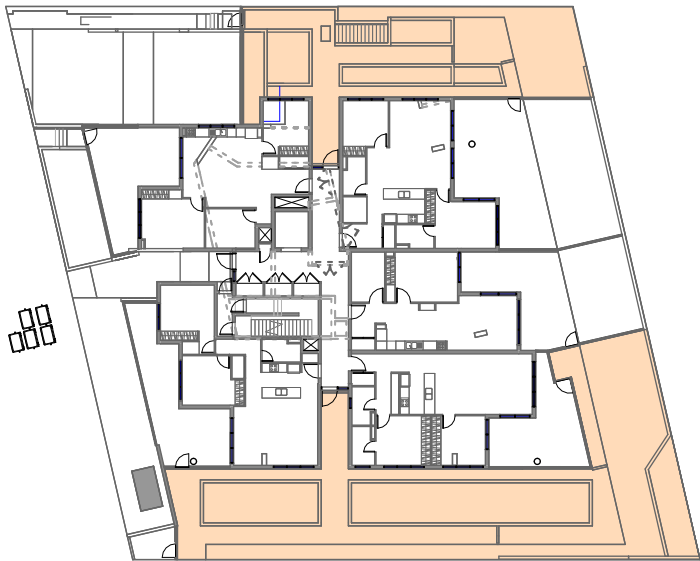
<div>MORFOSIS ARCHITECTS PTY LTD</div> <div>Suite 8 695 The Horsley Drive, Smithfield NSW 2164</div> <div>ABN 44 609 593 473</div> <div>P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623</div> <div>NOM ARCH J LIGADU NSW ARB NO 8549</div>	<div>GENERAL NOTES</div> <div>1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.</div> <div>2. ANY DESCREPANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.</div> <div>3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.</div> <div>4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.</div> <div>5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.</div> <div>6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.</div> <div>7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3</div> <div>8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.</div> <div>MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.</div>					<div>ISSUE</div> <div></div> <div>C</div>	<div>CLIENT</div> <div>MCKAY MOOREBANK</div>	<div>DRAWING NUMBER:</div> <div>DA-405</div> <div>DRAWING TITLE:</div> <div>LANDSCAPE CALCULATIONS</div> <div>SCALE</div> <div>1 : 500 @ A3</div>	<div>PROJECT</div> <div>RESIDENTIAL FLAT BUILDING DEVELOPMENT AT 28 & 30 MCKAY AVENUE MOOREBANK</div>
	C	DA ISSUE	31/07/24						
	B	DEP COUNCIL RFI'S RESPONSE	18/03/24						
	ISSUE		AMENDMENTS	DATE					

DEEP SOIL AREA = 210 m²



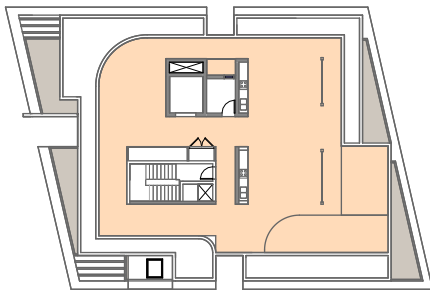
1 DEEP SOIL AREA
DA-406 1 : 500

COMMUNAL OPEN SPACE = 412 m²



2 COS GROUND
DA-406 1 : 500

COMMUNAL OPEN SPACE = 194 m²



3 COS LVL 6
DA-406 1 : 500

DEVELOPMENT SUMMARY

TOTAL SITE AREA : 1365.8 SQM

-MAX F.S.R ALLOWED : 1.2:1 + BONUS 0.5
(UNDER LIVERPOOL LEP + AFH SEPP 2021) : 1.7:1

-GROSS FLOOR AREA ALLOWED (LLEP) : 1.7 X 1365.8 = 2321.86 SQM

-PROPOSED GROSS FLOOR AREA : 2247 SQM

-PROPOSED FLOOR RATIO : 1.65:1

LANDSCAPING AREA (REQUIRED) : 409.74 SQM (30%)
LANDSCAPING AREA (PROPOSED) : 459.00 SQM (34%)

DEEP SOIL AREA (REQUIRED) : 204.87 SQM (15%)
DEEP SOIL AREA (PROPOSED) : 210.01 SQM (15.38%)

COMMUNAL OPEN SPACE (REQUIRED) : 341.45 SQM (25%)
COMMUNAL OPEN SPACE (PROPOSED) : 607 SQM (44%)

UNITS MIX

TYPE	QUANTITY
2 BEDROOM	18 UNITS
2 BEDROOM ADAPTABLE	1 UNIT
1 BEDROOM	6 UNITS
1 BEDROOM ADAPTABLE	2 UNITS
3 BEDROOM	1 UNITS
TOTAL	28 UNITS

TOTAL ADAPTABLE UNITS

10% OF TOTAL 28 UNITS = 2.8 = 3 UNITS REQUIRED

TYPE	TOTAL (TYPE)
2 BEDROOM ADAPTABLE	1 UNIT (TYPE A)
1 BEDROOM ADAPTABLE	2 UNITS (TYPE B)
TOTAL	3 UNITS PROVIDED

TOTAL AFFORDABLE UNITS

AFFORDABLE HOUSING AREA REQUIRED (AFH SEPP 2021)

50% OF TOTAL GFA = 1160.9 SQM

AFFORDABLE HOUSING AREA PROVIDED (AFH SEPP 2021) : 1164.4 SQM

TOTAL 15 UNITS PROVIDED AS AFFORDABLE

TYPE	TOTAL (TYPE)
2 BEDROOM	11 UNITS
2 BEDROOM ADAPTABLE	1 UNIT
1 BEDROOM	1 UNITS
1 BEDROOM ADAPTABLE	2 UNITS
TOTAL	15 UNITS

PARKING CALCULATIONS - AFH SEPP 2021

1 BED (0.5 CAR)	8 x 0.5 = 4 CARS
2 BED (1 CAR)	19 x 1 = 19 CARS
3 BED (1.5 CAR)	1 x 1.5 = 1.5 CARS
TOTAL CARS (REQUIRED)	25 CARS
TOTAL CARS (PROVIDED)	32 CARS

UNITS SCHEDULE

Unit	Name	Area	Comments
GL-U1	2 BEDROOM ADAPTABLE UNIT	71.3 m²	AFFORDABLE
GL-U2	2 BEDROOM UNIT	72.5 m²	AFFORDABLE
GL-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
GL-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m²	AFFORDABLE
GL-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L1-U1	2 BEDROOM UNIT	80.2 m²	AFFORDABLE
L1-U2	2 BEDROOM UNIT	76.4 m²	AFFORDABLE
L1-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
L1-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m²	AFFORDABLE
L1-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L2-U1	2 BEDROOM UNIT	80.2 m²	AFFORDABLE
L2-U2	2 BEDROOM UNIT	76.4 m²	AFFORDABLE
L2-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
L2-U4	1 BEDROOM UNIT	59.7 m²	
L2-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L3-U1	2 BEDROOM UNIT	80.2 m²	
L3-U2	2 BEDROOM UNIT	76.4 m²	
L3-U3	2 BEDROOM UNIT	77.2 m²	
L3-U4	1 BEDROOM UNIT	59.7 m²	AFFORDABLE
L3-U5	2 BEDROOM UNIT	78.2 m²	
L4-U1	1 BEDROOM UNIT	56.3 m²	
L4-U2	1 BEDROOM UNIT	51.2 m²	
L4-U3	2 BEDROOM UNIT	75.7 m²	
L4-U4	2 BEDROOM UNIT	75.3 m²	
L5-U1	1 BEDROOM UNIT	55.8 m²	
L5-U2	1 BEDROOM UNIT	51.3 m²	
L5-U3	3 BEDROOM UNIT	98.2 m²	
L5-U4	1 BEDROOM UNIT	50.3 m²	

28

AFFORDABLE UNITS SCHEDULE

Unit	Name	Area	Comments
GL-U1	2 BEDROOM ADAPTABLE UNIT	71.3 m²	AFFORDABLE
GL-U2	2 BEDROOM UNIT	72.5 m²	AFFORDABLE
GL-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
GL-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m²	AFFORDABLE
GL-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L1-U1	2 BEDROOM UNIT	80.2 m²	AFFORDABLE
L1-U2	2 BEDROOM UNIT	76.4 m²	AFFORDABLE
L1-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
L1-U4	1 BEDROOM ADAPTABLE UNIT	59.4 m²	AFFORDABLE
L1-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L2-U1	2 BEDROOM UNIT	80.2 m²	AFFORDABLE
L2-U2	2 BEDROOM UNIT	76.4 m²	AFFORDABLE
L2-U3	2 BEDROOM UNIT	77.2 m²	AFFORDABLE
L2-U5	2 BEDROOM UNIT	78.2 m²	AFFORDABLE
L3-U4	1 BEDROOM UNIT	59.7 m²	AFFORDABLE

15 1101.9 m²

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C DA ISSUE 31/07/24
B DEP COUNCIL RFI'S RESPONSE 18/03/24
A DA ISSUE 14/12/23

ISSUE AMENDMENTS DATE

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-406

DRAWING TITLE:
DEVELOPMENT
CALCULATIONS

SCALE

As indicated @ A3



PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK

Sliding Door Schedule					
UNIT	Mark	Level	Height	Width	HH
GL-U1	SD01	GF LVL	2700	2700	2700
GL-U2	SD01	GF LVL	2700	3000	2700
GL-U3	SD01	GF LVL	2700	2000	2700
GL-U3	SD02	GF LVL	2700	2000	2700
GL-U4	SD01	GF LVL	2700	2000	2700
GL-U4	SD02	GF LVL	2700	2400	2700
GL-U5	SD01	GF LVL	2700	2000	2700
GL-U5	SD02	GF LVL	2700	2000	2700
GL-U5	SD03	GF LVL	2700	2100	2700
L1-U1	SD01	LVL 01	2800	3800	2800
L1-U2	SD01	LVL 01	2700	3000	2700
L1-U3	SD01	LVL 01	2700	2000	2700
L1-U3	SD02	LVL 01	2700	2700	2700
L1-U4	SD01	LVL 01	2700	2000	2700
L1-U4	SD02	LVL 01	2700	2000	2700
L1-U5	SD01	LVL 01	2700	2000	2700
L1-U5	SD02	LVL 01	2700	3000	2700
L2-U1	SD01	LVL 02	2800	4000	2800
L2-U2	SD01	LVL 02	2700	3000	2700
L2-U3	SD01	LVL 02	2700	2000	2700
L2-U3	SD02	LVL 02	2700	2700	2700
L2-U4	SD01	LVL 02	2700	2000	2700
L2-U4	SD02	LVL 02	2700	2000	2700
L2-U5	SD01	LVL 02	2700	2000	2700
L2-U5	SD02	LVL 02	2700	3000	2700
L3-U1	SD01	LVL 03	2800	3800	2800
L3-U2	SD01	LVL 03	2700	3000	2700
L3-U3	SD01	LVL 03	2700	2000	2700
L3-U3	SD02	LVL 03	2700	2700	2700
L3-U4	SD01	LVL 03	2700	2000	2700
L3-U4	SD02	LVL 03	2700	2000	2700
L3-U5	SD01	LVL 03	2700	2000	2700
L3-U5	SD02	LVL 03	2700	3000	2700
L4-U1	SD01	LVL 04	2700	2100	2700
L4-U2	SD01	LVL 04	2700	2000	2700
L4-U2	SD02	LVL 04	2700	2000	2700
L4-U3	SD01	LVL 04	2700	2000	2700
L4-U3	SD02	LVL 04	2700	2100	2700
L4-U4	SD01	LVL 04	2700	1800	2700
L4-U4	SD02	LVL 04	2700	3100	2700
L4-U4	SD03	LVL 04	2700	2285	2700
L5-U1	SD01	LVL 05	2700	2100	2700
L5-U2	SD01	LVL 05	2700	2000	2700
L5-U2	SD02	LVL 05	2700	2000	2700
L5-U3	SD01	LVL 05	2700	2700	2700
L5-U3	SD02	LVL 05	2800	3600	2800
L5-U4	SD01	LVL 05	2700	2000	2700
L5-U4	SD02	LVL 05	2700	2700	2700

Window Schedule						
Comments	Mark	Level	Height	Width	HH	Type
Common-G	W01	GF LVL	2600	700	2700	FW + SIDE GLASS LOUVRES
Common-G	W02	GF LVL	2600	700	2700	FW + SIDE GLASS LOUVRES
Common-G	W03	GF LVL	2600	700	2700	FW + SIDE GLASS LOUVRES
Common-L1	W04	LVL 01	2600	1385	2700	FW + SIDE GLASS LOUVRES
Common-L1	W05	LVL 01	2600	1200	2700	FW + SIDE GLASS LOUVRES
Common-L1	W06	LVL 01	2600	1200	2700	FW + SIDE GLASS LOUVRES
Common-L2	W07	LVL 02	2600	1385	2700	FW + SIDE GLASS LOUVRES
Common-L2	W08	LVL 02	2600	1200	2700	FW + SIDE GLASS LOUVRES
Common-L2	W09	LVL 02	2600	1200	2700	FW + SIDE GLASS LOUVRES
Common-L3	W10	LVL 03	2600	1385	2700	FW + SIDE GLASS LOUVRES
Common-L3	W11	LVL 03	2600	1200	2700	FW + SIDE GLASS LOUVRES
Common-L3	W12	LVL 03	2600	1200	2700	FW + SIDE GLASS LOUVRES
Common-L4	W13	LVL 04	2600	1385	2700	FW + SIDE GLASS LOUVRES
Common-L4	W14	LVL 04	2600	1200	2700	FW + SIDE GLASS LOUVRES
Common-L4	W15	LVL 04	2600	1200	2700	FW + SIDE GLASS LOUVRES
Common-L5	W16	LVL 05	2600	1385	2700	FW + SIDE GLASS LOUVRES
Common-L5	W17	LVL 05	2600	1200	2700	FW + SIDE GLASS LOUVRES
Common-L5	W18	LVL 05	2600	1200	2700	FW + SIDE GLASS LOUVRES
Common-L6	W19	LVL 06	700	640	2500	AWNING
GL-U1	W01	GF LVL	700	2400	2500	SLIDING 3-PANELS
GL-U1	W02	GF LVL	700	2400	1600	SLIDING 3-PANELS
GL-U1	W03	GF LVL	2600	2600	2700	FH SLIDING 3-PANELS
GL-U2	W01	GF LVL	2600	1800	2700	FH AWNING 2-PANELS
GL-U2	W02	GF LVL	2600	2700	2700	FH SLIDING 3-PANELS
GL-U2	W03	GF LVL	700	2700	2500	SLIDING 3-PANELS
GL-U3	W01	GF LVL	700	1000	2500	AWNING
GL-U3	W02	GF LVL	700	2700	2500	SLIDING 3-PANELS
GL-U3	W03	GF LVL	700	2700	2500	SLIDING 3-PANELS
GL-U3	W04	GF LVL	2600	3000	2700	FH SLIDING 3-PANELS
GL-U3	W05	GF LVL	700	700	2500	AWNING
GL-U4	W01	GF LVL	2600	3000	2700	FH SLIDING 3-PANELS
GL-U5	W01	GF LVL	2600	2600	2700	FH SLIDING 3-PANELS
GL-U5	W02	GF LVL	700	2400	2500	SLIDING 3-PANELS
GL-U5	W03	GF LVL	700	2400	2500	SLIDING 3-PANELS
L1-U1	W01	LVL 01	1500	2400	2500	SLIDING 3-PANELS
L1-U1	W02	LVL 01	700	2400	2500	SLIDING 3-PANELS
L1-U1	W03	LVL 01	2600	2600	2700	FH SLIDING 3-PANELS
L1-U1	W04	LVL 01	700	700	2500	AWNING
L1-U1	W05	LVL 01	700	700	2500	AWNING
L1-U1	W06	LVL 01	700	2400	2500	SLIDING 3-PANELS

Window Schedule						
Comments	Mark	Level	Height	Width	HH	Type
L1-U2	W01	LVL 01	2600	1800	2800	FH AWNING 2-PANELS
L1-U2	W02	LVL 01	2600	2700	2700	FH SLIDING 3-PANELS
L1-U2	W03	LVL 01	700	2700	2500	SLIDING 3-PANELS
L1-U2	W04	LVL 01	700	700	2500	AWNING
L1-U3	W01	LVL 01	700	1000	2500	AWNING
L1-U3	W02	LVL 01	1500	2700	2500	SLIDING 3-PANELS
L1-U3	W03	LVL 01	700	2700	2500	SLIDING 3-PANELS
L1-U3	W04	LVL 01	2600	3000	2700	FH SLIDING 3-PANELS
L1-U3	W05	LVL 01	700	700	2500	AWNING
L1-U4	W01	LVL 01	2600	3000	2700	FH SLIDING 3-PANELS
L1-U5	W01	LVL 01	2600	2600	2700	FH SLIDING 3-PANELS
L1-U5	W02	LVL 01	700	2400	2500	SLIDING 3-PANELS
L1-U5	W03	LVL 01	1500	2400	2500	SLIDING 3-PANELS
L1-U5	W04	LVL 01	700	2400	2500	SLIDING 3-PANELS
L1-U5	W05	LVL 01	700	700	2500	AWNING
L2-U1	W01	LVL 02	1500	2400	2500	SLIDING 3-PANELS
L2-U1	W02	LVL 02	700	2400	2500	SLIDING 3-PANELS
L2-U1	W03	LVL 02	2600	2600	2700	FH SLIDING 3-PANELS
L2-U1	W04	LVL 02	700	700	2500	AWNING
L2-U1	W05	LVL 02	700	700	2500	AWNING
L2-U1	W06	LVL 02	700	2400	2500	SLIDING 3-PANELS
L2-U2	W01	LVL 02	2600	1800	2800	FH AWNING 2-PANELS
L2-U2	W02	LVL 02	2600	2700	2700	FH SLIDING 3-PANELS
L2-U2	W03	LVL 02	700	2700	2500	SLIDING 3-PANELS
L2-U2	W04	LVL 02	700	700	2500	AWNING
L2-U3	W01	LVL 02	700	1000	2500	AWNING
L2-U3	W02	LVL 02	1500	2700	2500	SLIDING 3-PANELS
L2-U3	W03	LVL 02	700	2700	2500	SLIDING 3-PANELS
L2-U3	W04	LVL 02	2600	3000	2700	FH SLIDING 3-PANELS
L2-U3	W05	LVL 02	700	700	2500	AWNING
L2-U4	W01	LVL 02	2600	3000	2700	FH SLIDING 3-PANELS
L2-U5	W01	LVL 02	2600	2600	2700	FH SLIDING 3-PANELS
L2-U5	W02	LVL 02	700	2400	2500	SLIDING 3-PANELS
L2-U5	W03	LVL 02	1500	2400	2500	SLIDING 3-PANELS
L2-U5	W04	LVL 02	700	2400	2500	SLIDING 3-PANELS
L2-U5	W05	LVL 02	700	700	2500	AWNING
L3-U1	W01	LVL 03	1500	2400	2500	SLIDING 3-PANELS
L3-U1	W02	LVL 03	700	2400	2500	SLIDING 3-PANELS
L3-U1	W03	LVL 03	2600	2600	2700	FH SLIDING 3-PANELS
L3-U1	W04	LVL 03	700	700	2500	AWNING
L3-U1	W05	LVL 03	700	700	2500	AWNING
L3-U1	W06	LVL 03	700	2400	2500	SLIDING 3-PANELS
L3-U2	W01	LVL 03	2600	2600	2700	FH SLIDING 3-PANELS
L3-U2	W02	LVL 03	2600	2700	2700	FH SLIDING 3-PANELS
L3-U2	W03	LVL 03	700	2700	2500	SLIDING 3-PANELS
L3-U2	W04	LVL 03	700	700	2500	AWNING
L3-U3	W01	LVL 03	700	1000	2500	AWNING
L3-U3	W02	LVL 03	1500	2700	2500	SLIDING 3-PANELS

Window Schedule						
Comments	Mark	Level	Height	Width	HH	Type
L3-U3	W03	LVL 03	700	2700	2500	SLIDING 3-PANELS
L3-U3	W04	LVL 03	2600	3000	2700	FH SLIDING 3-PANELS
L3-U3	W05	LVL 03	700	700	2500	AWNING
L3-U4	W01	LVL 03	2600	3000	2700	FH SLIDING 3-PANELS
L3-U5	W01	LVL 03	2600	2600	2700	FH SLIDING 3-PANELS
L3-U5	W02	LVL 03	700	2400	2500	SLIDING 3-PANELS
L3-U5	W03	LVL 03	1500	2400	2500	SLIDING 3-PANELS
L3-U5	W04	LVL 03	700	2400	2500	SLIDING 3-PANELS
L3-U5	W05	LVL 03	700	700	2500	AWNING
L4-U1	W01	LVL 04	1900	900	2100	BOXED AWNING
L4-U1	W02	LVL 04	1500	3000	2500	SLIDING 3-PANELS
L4-U1	W03	LVL 04	2600	2600	2700	FH SLIDING 3-PANELS
L4-U1	W04	LVL 04	700	640	2500	AWNING
L4-U1	W05	LVL 04	700	2400	2500	SLIDING 3-PANELS
L4-U2	W01	LVL 04	2600	2600	2700	FH SLIDING 3-PANELS
L4-U2	W02	LVL 04	1900	900	2100	BOXED AWNING
L4-U2	W03	LVL 04	1500	2000	2500	FH AWNING 2-PANELS
L4-U2	W04	LVL 04	1500	2000	2500	FH AWNING 2-PANELS
L4-U2	W05	LVL 04	700	640	2500	AWNING
L4-U3	W01	LVL 04	1500	2700	2500	SLIDING 3-PANELS
L4-U3	W02	LVL 04	1900	900	2100	BOXED AWNING
L4-U3	W03	LVL 04	700	2700	2500	SLIDING 3-PANELS
L4-U3	W04	LVL 04	2600	3000	2700	FH AWNING 3-PANELS
L4-U4	W01	LVL 04	2600	2000	2700	FH AWNING 2-PANELS
L4-U4	W02	LVL 04	1500	2400	2500	SLIDING 3-PANELS
L4-U4	W03	LVL 04	700	700	2500	AWNING
L5-U1	W01	LVL 05	1900	900	2100	BOXED AWNING
L5-U1	W02	LVL 05	1500	3000	2500	SLIDING 3-PANELS
L5-U1	W03	LVL 05	2600	2600	2700	FH SLIDING 3-PANELS
L5-U1	W04	LVL 05	700	640	2500	AWNING
L5-U1	W05	LVL 05	700	2400	2500	SLIDING 3-PANELS
L5-U2	W01	LVL 05	2600	2600	2700	FH SLIDING 3-PANELS
L5-U2	W02	LVL 05	1900	900	2100	BOXED AWNING
L5-U2	W03	LVL 05	1500	2000	2500	FH AWNING 2-PANELS
L5-U2	W04	LVL 05	1500	2000	2500	FH AWNING 2-PANELS
L5-U2	W05	LVL 05	700	640	2500	AWNING
L5-U3	W01	LVL 05	1500	2700	2500	SLIDING 3-PANELS
L5-U3	W02	LVL 05	1900	900	2100	BOXED AWNING
L5-U3	W03	LVL 05	700	2700	2500	SLIDING 3-PANELS
L5-U3	W04	LVL 05	2600	2025	2800	FH AWNING 2-PANELS
L5-U3	W05	LVL 05	2600	2000	2700	FH AWNING 2-PANELS
L5-U4	W01	LVL 05	1500	3000	2500	SLIDING 3-PANELS
SK-	SK-01	LVL 04	1200	1000		1200x1000
SK-	SK-02	LVL 06	1200	1000		1200x1000

MORFOSIS ARCHITECTS

PT Y LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164

ABN 44 609 593 473

P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623

NOM ARCH J LIGADU NSW ARB NO 8549

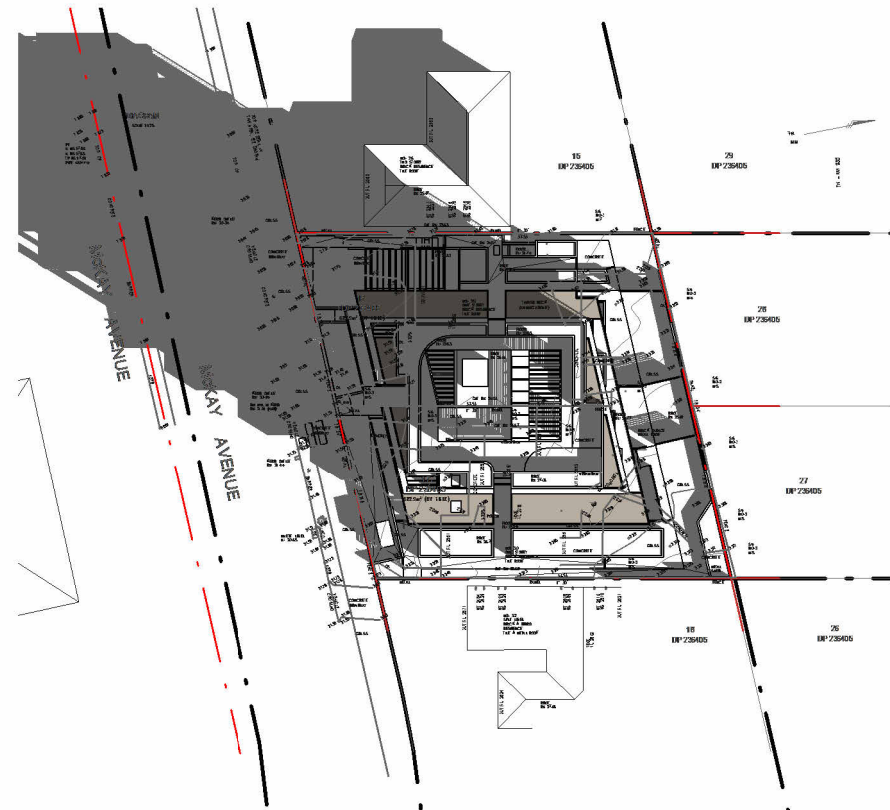
GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.

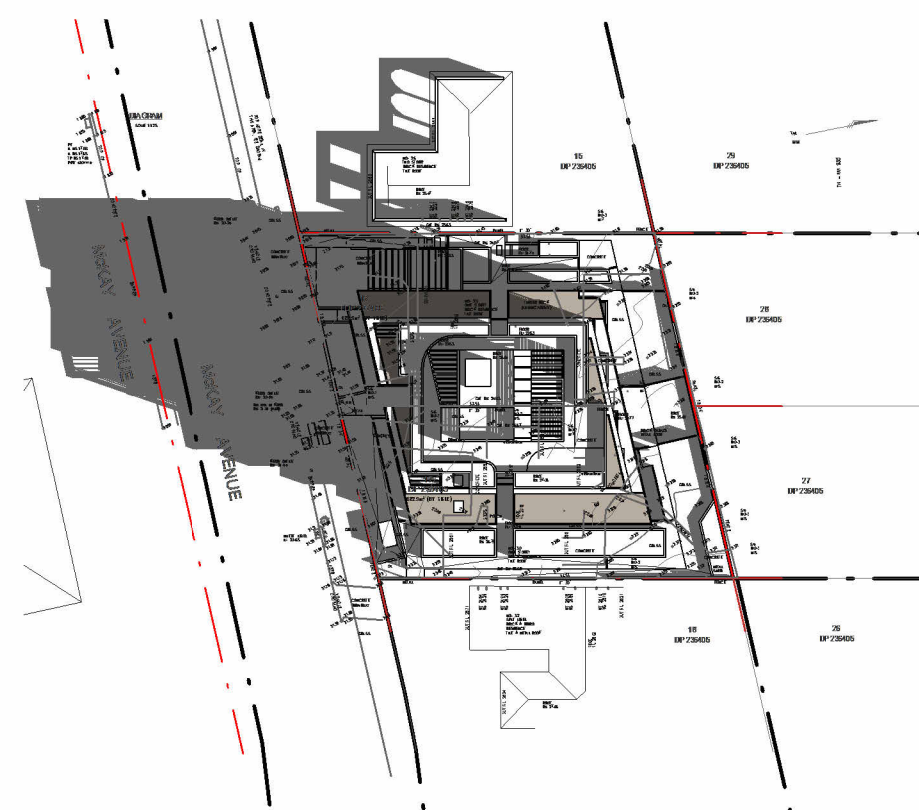
2. ANY DESCREANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.

3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.

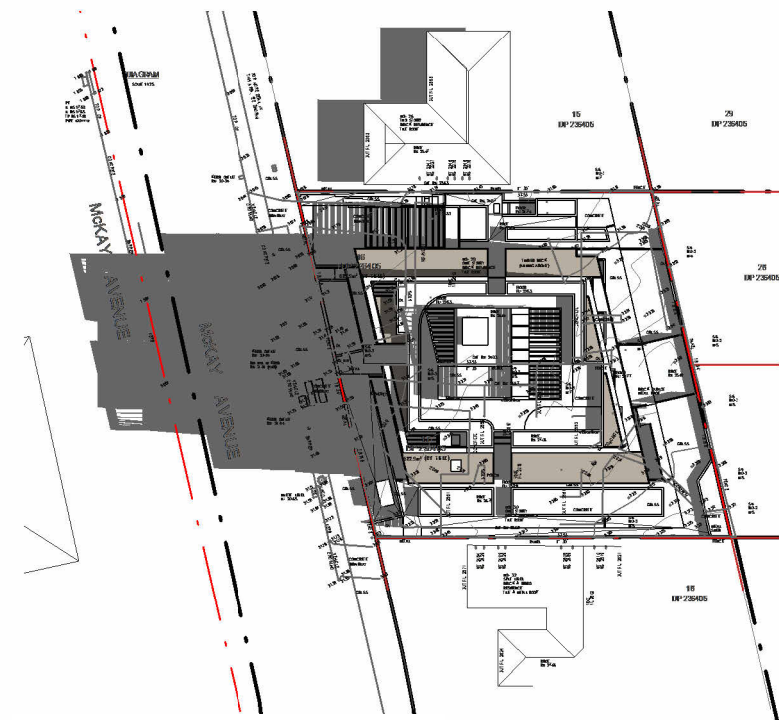
4. FIGURED DIMENSIONS ARE TO BE TAKEN IN REFERENCE TO SCALING.</



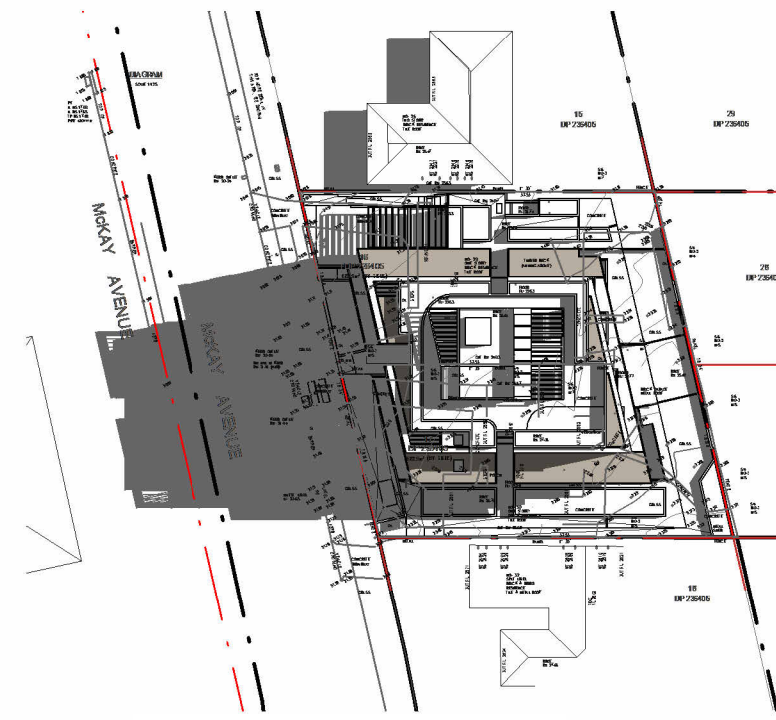
1 SD AT 9AM-21 JUNE
DA-500 1 : 800



2 SD AT 10AM-21 JUNE
DA-500 1 : 800



3 SD AT 11AM-21 JUNE
DA-500 1 : 800



4 SD AT 12PM-21 JUNE
DA-500 1 : 800

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

CLIENT

MCKAY
MOOREBANK

C

DRAWING NUMBER:

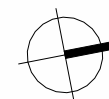
DA-500

DRAWING TITLE:

SHADOW DIAGRAMS STUDY

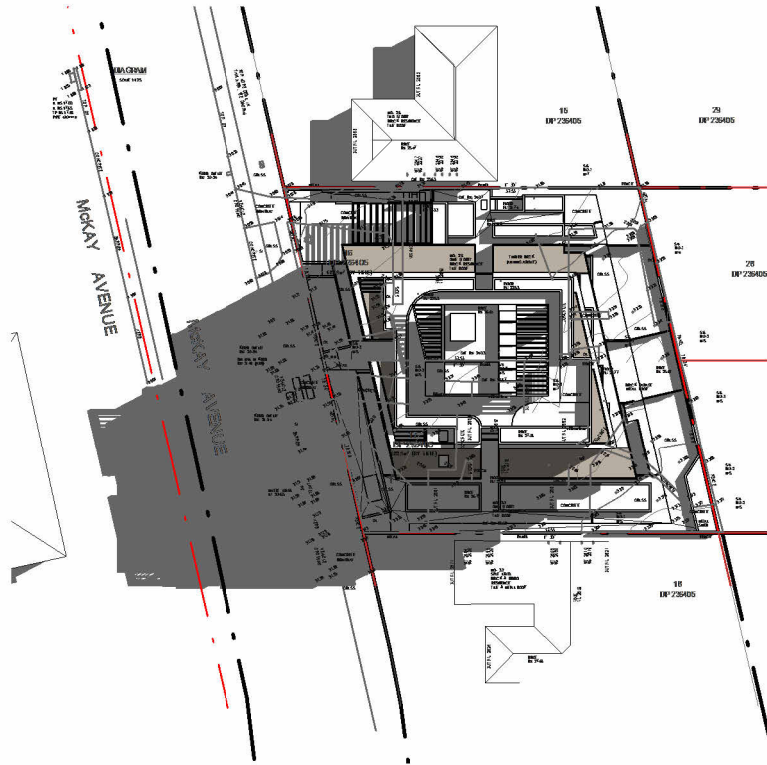
SCALE

1 : 800 @ A3

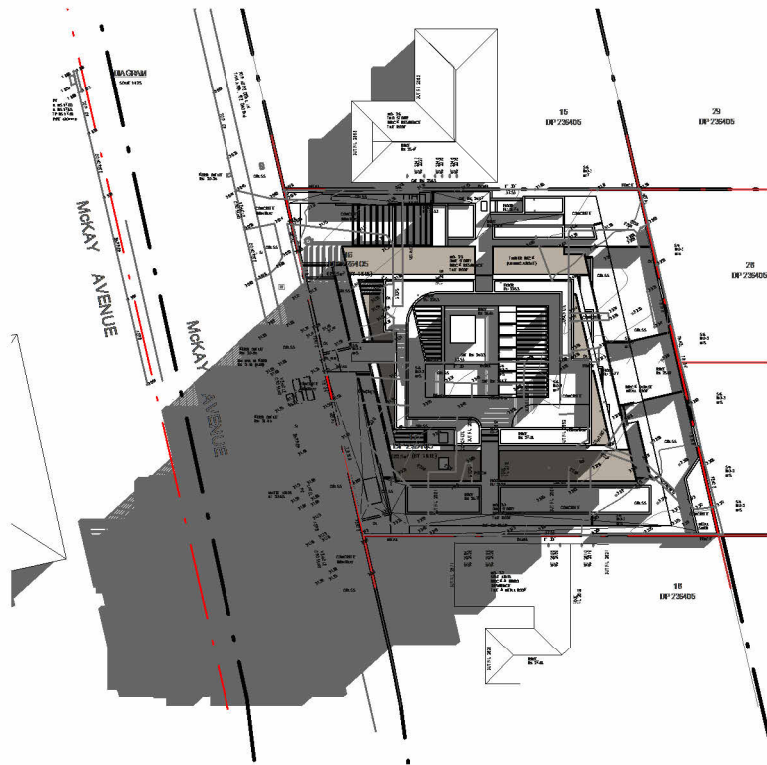


PROJECT

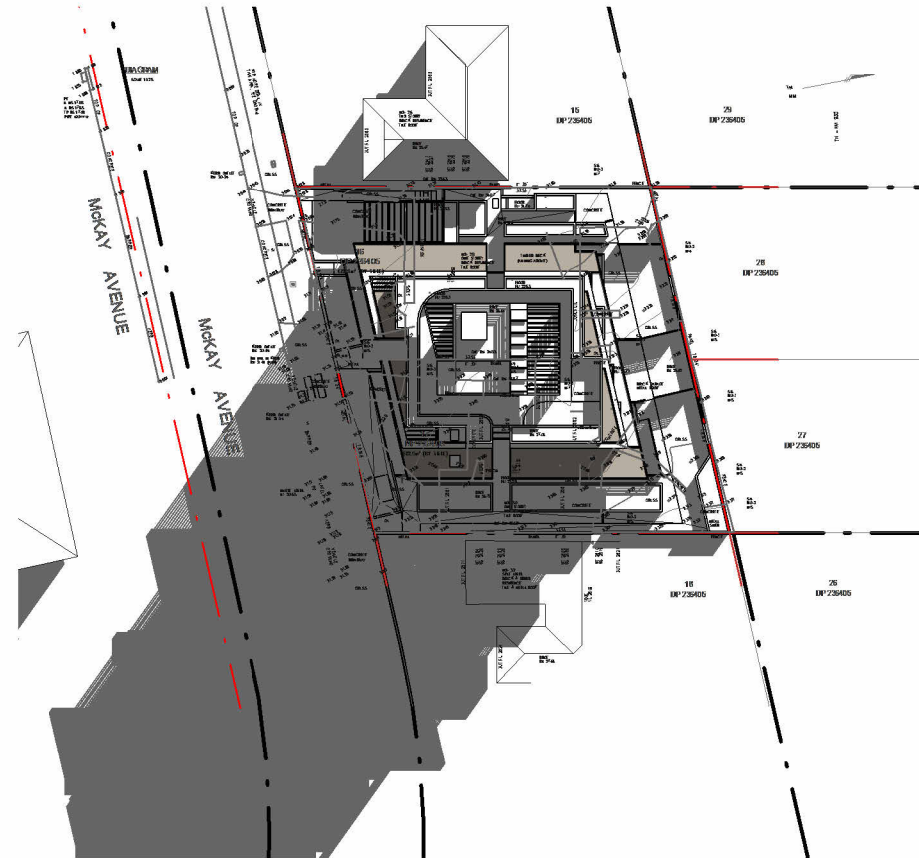
RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



1 SD AT 1PM-21 JUNE
DA-501 1 : 800



2 SD AT 2PM-21 JUNE
DA-501 1 : 800



3 SD AT 3PM-21 JUNE
DA-501 1 : 800

MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

- ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
- LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
- STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
- ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24
A	DA ISSUE	14/12/23

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

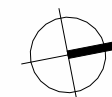
DA-501

DRAWING TITLE:

SOLAR ACCESS AT 1 PM - 3
PM

SCALE

1 : 800 @ A3



PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DESCREANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

**MCKAY
MOOREBANK**

DRAWING NUMBER:

DA-600

DRAWING TITLE:

3D VIEW- FUTURE SETTIING

SCALE

@ A3

PROJECT

**RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK**



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DESCREPANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

**MCKAY
MOOREBANK**

DRAWING NUMBER:

DA-601

DRAWING TITLE:

3D VIEW- FUTURE SETTIING

SCALE

@ A3

PROJECT

**RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK**



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DESCREANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-602

DRAWING TITLE:

3D VIEW- FUTURE SETTIING

SCALE

@ A3

PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 2. ANY DESCREANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
 3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
 8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCENET OF ANY BUILDING.
- MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-603

DRAWING TITLE:

3D VIEW- FUTURE SETTING

SCALE

@ A3

PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK



MORFOSIS ARCHITECTS PTY LTD

Suite 8 695 The Horsley Drive, Smithfield NSW 2164
ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
2. ANY DESCREANCIESW ARE TO BE CONFIRMEND BY THE DESIGNER.
3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED , SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.
MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.

C	DA ISSUE	31/07/24
B	DEP COUNCIL RFI'S RESPONSE	18/03/24

ISSUE	AMENDMENTS	DATE
-------	------------	------

ISSUE

C

CLIENT

**MCKAY
MOOREBANK**

DRAWING NUMBER:

DA-604

DRAWING TITLE:

3D VIEW - FUTURE SETTIING

SCALE

@ A3

PROJECT

**RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK**